PROJECT: PROPOSED BUILDING

35 SARATOGA BOULEVARD DEVENS, MASSACHUSETTS

APPLICANT: 35 SARATOGA PROPERTY OWNER, LLC

133 PEARL STREET BOSTON, MA 02110

CIVIL EUGENE T. SULLIVAN, INC.

ENGINEER: 230 LOWELL STREET- SUITE 2A

WILMINGTON, MASSACHUSETTS

LAND DANA F. PERKINS INC.

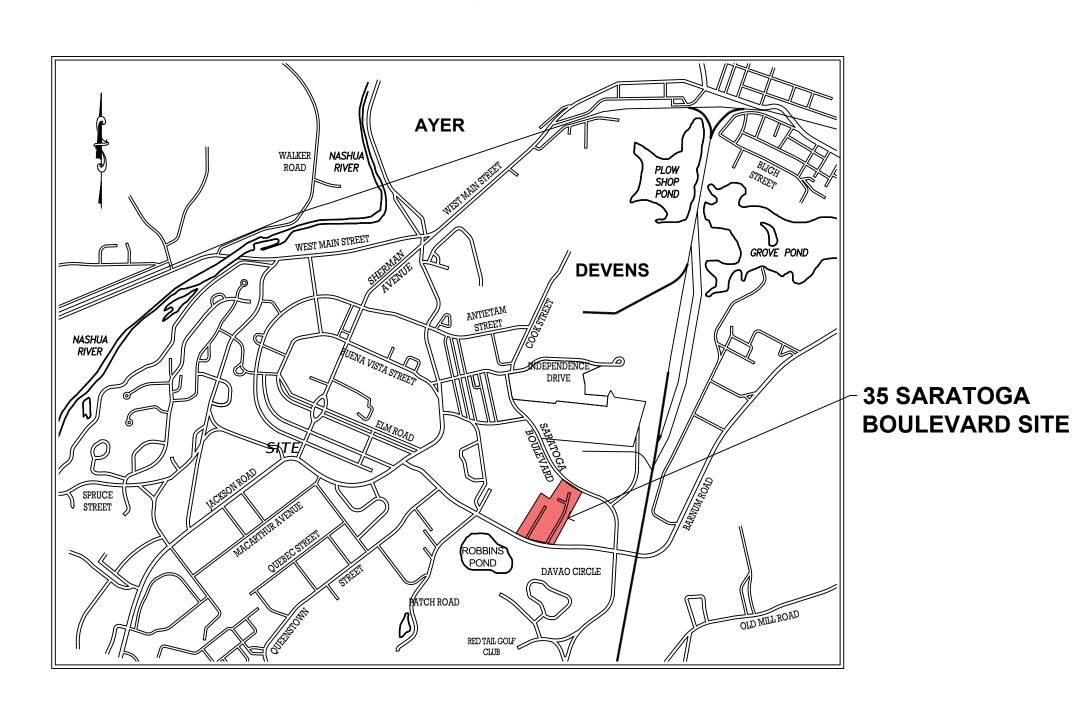
SURVEYOR: 1057 EAST STREET

TEWKSBURY, MASSACHUSETTS

LANDSCAPE JAMES K. EMMANUEL ASSOCIATES

ARCHITECT: 22 CARLTON ROAD

MARBLEHEAD, MASSACHUSETTS



LOCUS PLAN

DRAWING INDEX:

APRIL 6, 2022

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GENERAL NOTES:

- THE CONTRACTOR SHALL NOTIFY "DIG-SAFE" [888.344.7233] AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 2. THE UNDERGROUND UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED BY FIELD SURVEY AND EXISTING DRAWINGS. THIS ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN USE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- 3. THESE SITE PLANS ARE BASED UPON AN ON-THE-GROUND TOPOGRAPHICAL SURVEY. NO ATTEMPT WAS MADE IN PREPARING THESE PLANS TO ASCERTAIN THE LOCATION OF NON-VISUALLY APPARENT SUBSURFACE UTILITIES AND STRUCTURES OR CONDITIONS.
- 4. THESE PLAN HAVE BEEN PREPARED FOR THIS CLIENT AND THIS PROJECT. REPRODUCTION IN WHOLE OR IN PART FOR OTHER PURPOSES IS STRICTLY PROHIBITED.
- 5. THESE DRAWINGS SHALL NOT BE SCALED. IF CLARIFICATION OF INTENT IS REQUIRED, THE CONTRACTOR SHALL REQUEST CLARIFICATION PRIOR TO CONTINUING HIS WORK.
- 6. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO INITIATION OF THE WORK AND SHALL NOTIFY THE CIVIL ENGINEER OF RECORD AND THE OWNER OF ANY DISCREPANCIES WITH THE SITE CONDITIONS OR PROPOSED CONSTRUCTION IMMEDIATELY UPON DISCOVERY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING PROPOSED CONSTRUCTION WITH EXISTING CONDITIONS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND LICENSES.
- ALL WORK SHALL CONFORM TO ALL LOCAL AND STATE REGULATORY AGENCIES AND UTILITY REQUIREMENTS.
 UPON ENTERING THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EDGLICAL CONTROL. DEMANTSPING AND SHALL HADDEDTAKE ALL MEASURES TO
- EROSION CONTROL, DEWATERING AND SHALL UNDERTAKE ALL MEASURES TO PROTECT WETLANDS, THE DRAINAGE SYSTEMS, ADJACENT PROPERTIES AND STREETS FROM SILTATION, STORMWATER RUNOFF, AND DUST DURING THE ENTIRE PROJECT DURATION.
- 11. THE LIMIT OF WORK SHALL BE AS DESIGNATED ON THESE PLANS, AND/OR THE EDGE OF PROPOSED GRADING AND/OR THE PROPERTY LINES IF NOT INDICATED OTHERWISE.
- START OF CONSTRUCTION.

 13. MATERIALS IMPORTED TO THE SITE SHALL BE FREE OF HAZARDOUS WASTE AND NOXIOUS MATERIALS, STORED AS DESIGNATED AND SHALL NOT HAMPER THE SITE

12. THE CONTRACTOR SHALL CLEARLY MARK THE LIMITS OF WORK PRIOR TO THE

- ACTIVITIES.

 14. ALL NECESSARY POLICE DETAILS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE DETAILS WITH THE LOCAL
- POLICE DEPARTMENT.

 THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EXISTING UTILITIES IN WORKING ORDER AND FREE FROM DAMAGE DURING THE ENTIRE DURATION OF THE PROJECT. ALL COSTS RELATED TO THE REPAIR OF DAMAGED UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION AT NO ADDITIONAL COSTS TO THE OWNER.
- 16. THE CONTRACTOR SHALL UTILIZE ALL PRECAUTIONS AND MEASURES NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC, ALL PERSONNEL AND PROPERTY DURING CONSTRUCTION IN ACCORDANCE WITH OSHA STANDARDS, INCLUDING BARRICADES, SAFETY LIGHTING, CONES, POLICE DETAILS, AND/OR FLAGMEN AS
- ALL TRENCHING WORK WITHIN A ROADWAY SHALL BE COORDINATED WITH THE PROPER LOCAL AND/OR STATE AGENCY. TRENCH SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DOING THE TRENCH WORK, INCLUDING ANY LOCAL AND/OR STATE PERMITS REQUIRED FOR THE TRENCHWORK.
 ALL TRENCHWORK WITHIN EXISTING PAVEMENT SHALL BE SAWCUT PER THE
- APPLICABLE DETAILS. TRENCHWORK BACKFILL AND COMPACTION SHALL HAVE MAXIMUM 8" LIFTS. THE CONTRACTOR SHALL BE REQUIRED TO REMOVE THE PATCH AND REPAVE AFTER ONE COMPLETE 12-MONTH CYCLE IF SETTLEMENT OCCURS DUE TO INADEQUATE COMPACTION.

 19. SITE LAYOUT SURVEY REQUIRED FOR CONSTRUCTION WILL BE PROVIDED BY THE
- CONTRACTOR AND SHALL BE CONDUCTED BY A MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS DURING CONSTRUCTION.

 20. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND
- FEDERAL LAWS AND REGULATIONS REGARDING NOISE, VIBRATION, DUST, SEDIMENTATION CONTAINMENT, TRENCHWORK AND ROADWAY WORK.
- 21. SOLID WASTES SHALL BE COLLECTED AND STORED IN A SECURED DUMPSTER.
 THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT
 REGULATIONS.
- 22. THE CONTRACTOR SHALL RESTORE ALL SURFACES EQUAL TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION IS COMPLETE. AREAS NOT DISTURBED BY CONSTRUCTION SHALL BE LEFT NATURAL. THE CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO SHRUBS, TREES AND OTHER LANDSCAPING AND/OR NATURAL FEATURES.
 23. LEDGE OR BOULDER EXCAVATION IS ANTICIPATED FOR THIS SITE. THE
- CONTRACTOR SHALL PROVIDE A UNIT COST PER CUBIC YARD FOR LEDGE AND/OR BOULDER REMOVAL. LEDGE AND/OR BOULDERS LESS THAN ONE CUBIC YARD IN SIZE WILL NOT BE CONSIDERED PAYABLE ROCK.



- 1. THIS PROPERTY IS SUBJECT TO THE DEVENS UXO PROTOCOL AND PROCEDURES: 1.1. WHEREAS DEVENS IS A FORMER ACTIVE MILITARY INSTALLATION. IT IS POSSIBLE THAT UNEXPLODED ORDNANCE ["UXO"] AND/OR MUNITIONS OF EXPLOSIVE CONCERN ["MEC"] MAY EXIST AND/OR BE ENCOUNTERED AT DEVENS. PRIOR TO PERFORMING ANY INTRUSIVE SOIL WORK, ALL PERSONNEL ONSITE MUST VIEW A UXO/MEC INSTRUCTIONAL VIDEO BRIEFING INTENDED TO INSTRUCT ON-SITE PERSONNEL AS TO HOW TO VISUALLY RECOGNIZE UNEXPLODED ORDNANCE ["UXO"] AND/OR MUNITIONS OF EXPLOSIVE CONCERN ["MEC"] WHICH COULD BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES AND PROVIDING INSTRUCTION OF THE PROCEDURES TO BE FOLLOWED IF A POTENTIAL UXO/MEC IS ENCOUNTERED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING VIEWING OF THE VIDEO BY ALL PERSONNEL [BOTH CONTRACTOR AND SUBCONTRACTORS] WHO WILL BE EXCAVATING [EITHER BY MACHINE OR HAND TOOLS], WILL BE WORKING WITHIN AN EXCAVATED AREA OR WHO WILL BE OVERSEEING OR SUPERVISING EITHER. ARRANGEMENTS CAN BE MADE FOR VIEWING OF THE INSTRUCTIONAL VIDEO BY CONTACTING THE DEVENS FIRE DEPARTMENT [978.772.4600] LOCATED AT 182 JACKSON ROAD, DEVENS, MA. CONTACT FIRE DEPARTMENT TO SCHEDULE THE VIEWING TO AVOID ANY DELAYS IN THE CONTRACTOR'S
- PROPOSED CONSTRUCTION SCHEDULE.

 1.2. IF AN ORDNANCE IS FOUND OR SUSPECTED, THE CONTRACTOR SHALL FOLLOW THE FOLLOWING PROCEDURES:

DO NOT TOUCH

- STOP ALL OPERATIONS IN THE AREA OF THE ITEM
- SHUT OFF ALL EQUIPMENT IN THE AREA OF THE ITEM
- EVACUATE THE AREA
- CALL DEVENS DISPATCH AT 978.772.7200
- 1.3 DISPATCH WILL NOTIFY THE APPROPRIATE EMERGENCY AND PUBLIC SAFETY PERSONNEL INCLUDING NOTIFICATION OF THE ARMY UXO RESPONSE COORDINATOR.
- 1.4 STATE POLICE, IN CONJUNCTION WITH THE DEVENS FIRE CHIEF AND THE US ARMY WILL DETERMINE THE COURSE OF ACTION TO BE FOLLOWED REGARDING THE RELOCATING, REMOVING, AND/OR DESTROYING OF FOUND UXO UPON FURTHER INVESTIGATION OF THE ITEM.
- 1.5 THE CONTRACTOR WILL BE NOTIFIED WHEN PERSONNEL CAN RETURN TO THE AREA AND/OR WHEN AND WHERE OPERATION OF EQUIPMENT CAN RESUME.
- 2. NO SOILS ARE TO LEAVE THE SITE AS PART OF THIS PROJECT CONSISTENT WITH THE DEVENS SOIL MANAGEMENT POLICY. IF SOILS MUST BE REMOVED FROM THE SITE THEN PRIOR TO REMOVING ANY SOILS OFF-SITE [WHETHER IN DEVENS OR OUTISDE OF DEVENS] THE APPLICANT/OWNER MUST CONSULT AND COORDINATE WITH THE DEVENS ENVIRONMENTAL MANAGER AND MASS DEP: THE PROTOCOL FOR REMOVAL IS AS FOLLOWS:

 https://www.devensec.com/development/Devens Soil Mgmt and UXO Policies and Procedures.pdf.

- THE FOLLOWING EROSION CONTROL PRINCIPLES SHALL APPLY TO THE LAND GRADING AND CONSTRUCTION PHASES:
- 1. STRIPPING OF VEGETATION, GRADING, OR OTHER SOIL DISTURBANCE SHALL BE DONE IN A MANNER TO MINIMIZE SOIL EROSION.
- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
 THE EXTENT OF THE AREA AND DURATION OF PERIOD WHICH THE AREA IS EXPOSED AND
- FREE OF VEGETATION SHALL BE KEPT WITHIN PRACTICAL LIMITS.

 4. TEMPORARY SEEDING, MULCHING, OR OTHER SUITABLE STABILIZATION MEASURES SHALL BE USED TO PROTECT EXPOSED CRITICAL AREAS DURING PROLONGED CONSTRUCTION OR
- OTHER LAND DISTURBANCE.

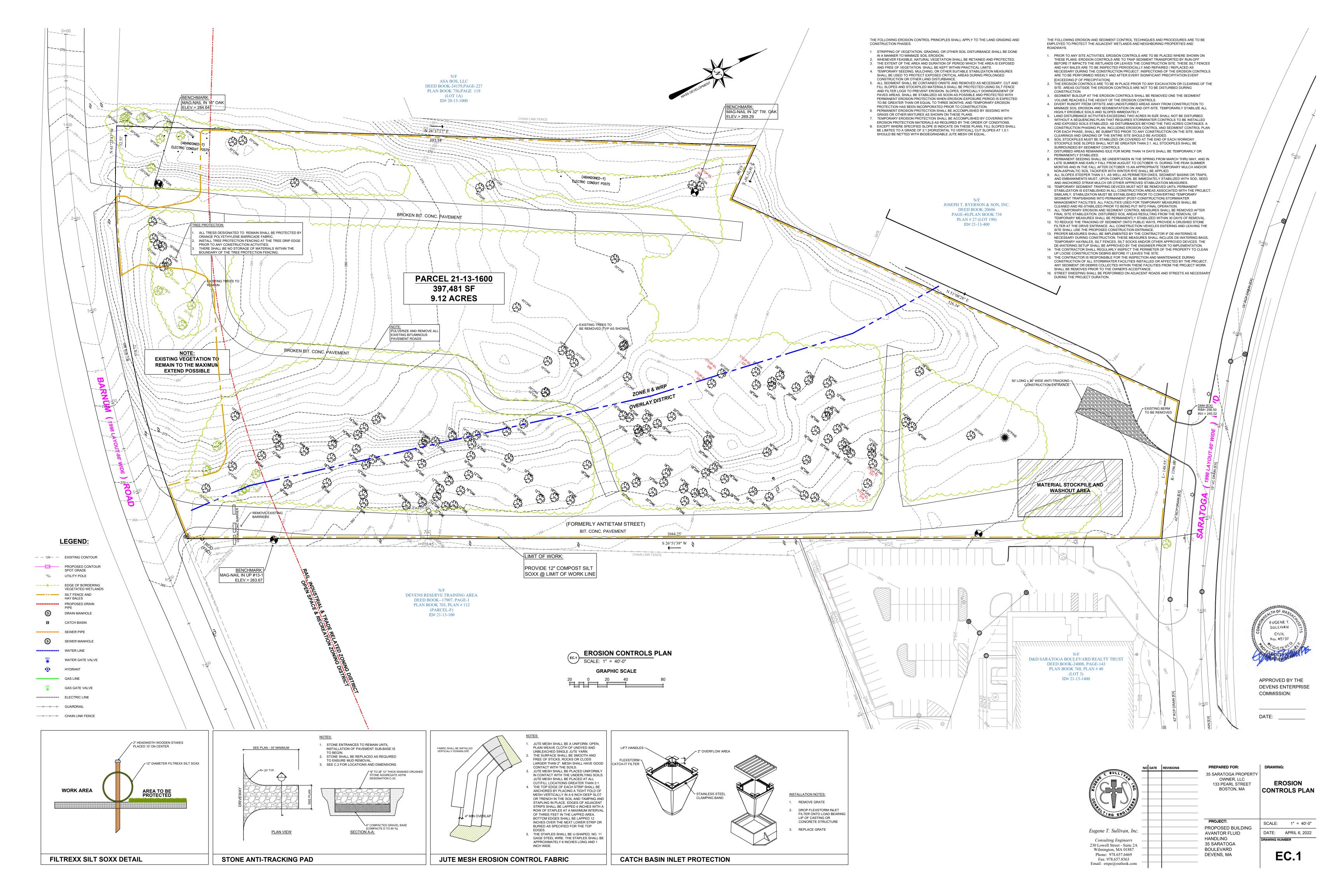
 5. ALL SEDIMENT SHALL BE CONTAINED ONSITE AND REMOVED AS NECESSARY. CUT AND FILL SLOPES AND STOCKPILED MATERIALS SHALL BE PROTECTED USING SILT FENCE AND FILTER LOGS TO PREVENT EROSION. SLOPES, ESPECIALLY DOWNGRADIENT OF PAVED AREAS, SHALL BE STABILIZED AS SOON AS POSSIBLE AND PROTECTED WITH PERMANENT EROSION PROTECTION WHEN EROSION EXPOSURE PERIOD IS EXPECTED TO BE GREATER THAN OR EQUAL TO THREE MONTHS, AND TEMPORARY EROSION PROTECTION HAS BEEN
- INCORPORATED PRIOR TO CONSTRUCTION.

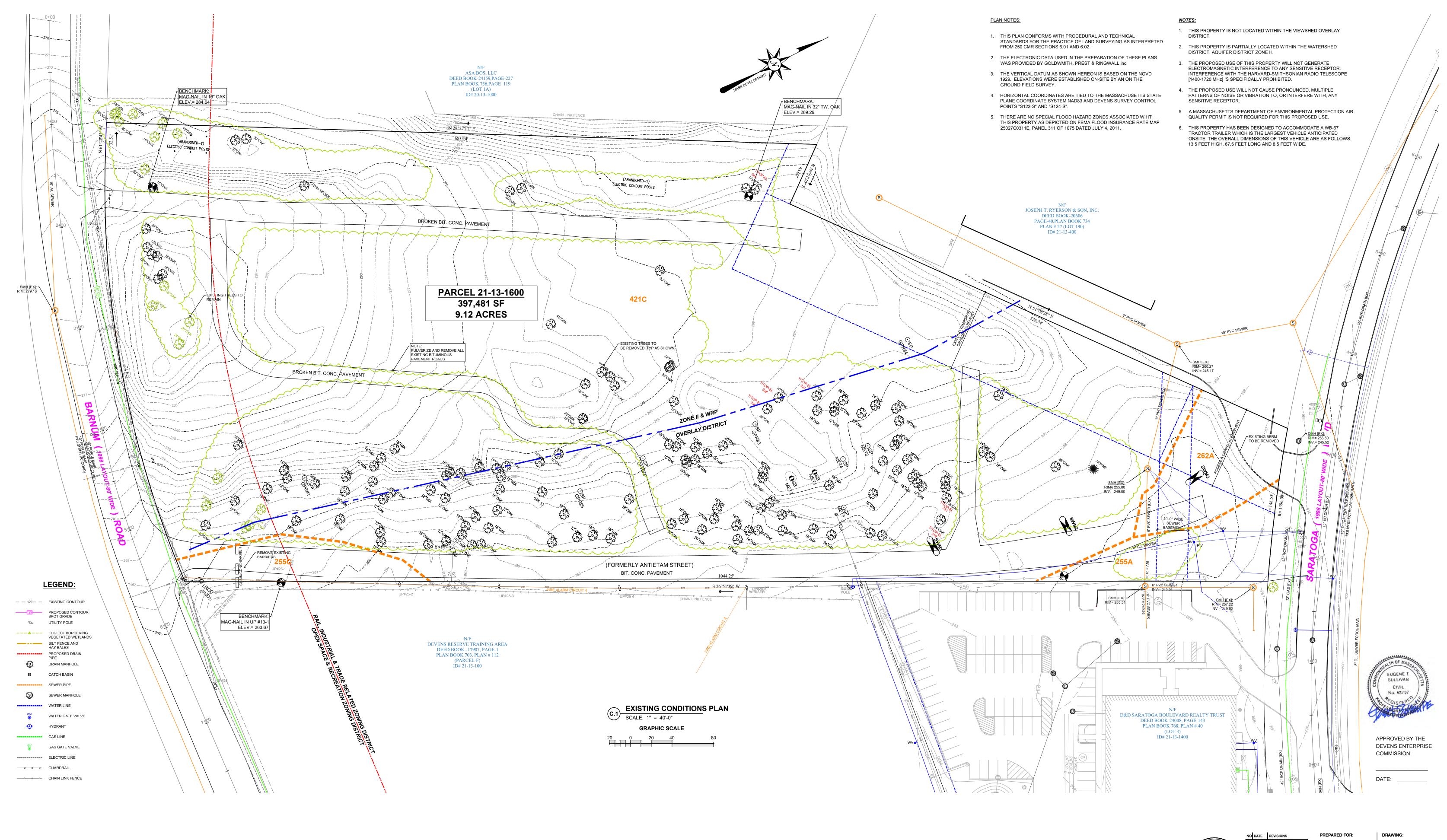
 6. PERMANENT EROSION PROTECTION SHALL BE ACCOMPLISHED BY SEEDING WITH GRASS OR OTHER MIXTURES AS SHOWN ON THESE PLANS.
- TEMPORARY EROSION PROTECTION SHALL BE ACCOMPLISHED BY COVERING WITH EROSION PROTECTION MATERIALS AS REQUIRED BY THE ORDER OF CONDITIONS.
- 8. EXCEPT WHERE SPECIFIED SLOPE IS INDICATE ON THESE PLANS, FILL SLOPES SHALL BE LIMITED TO A GRADE OF 2:1 [HORIZONTAL TO VERTICAL], CUT SLOPES AT 1.5:1 SHOULD BE NETTED WITH BIODEGRADABLE JUTE MESH OR EQUAL.



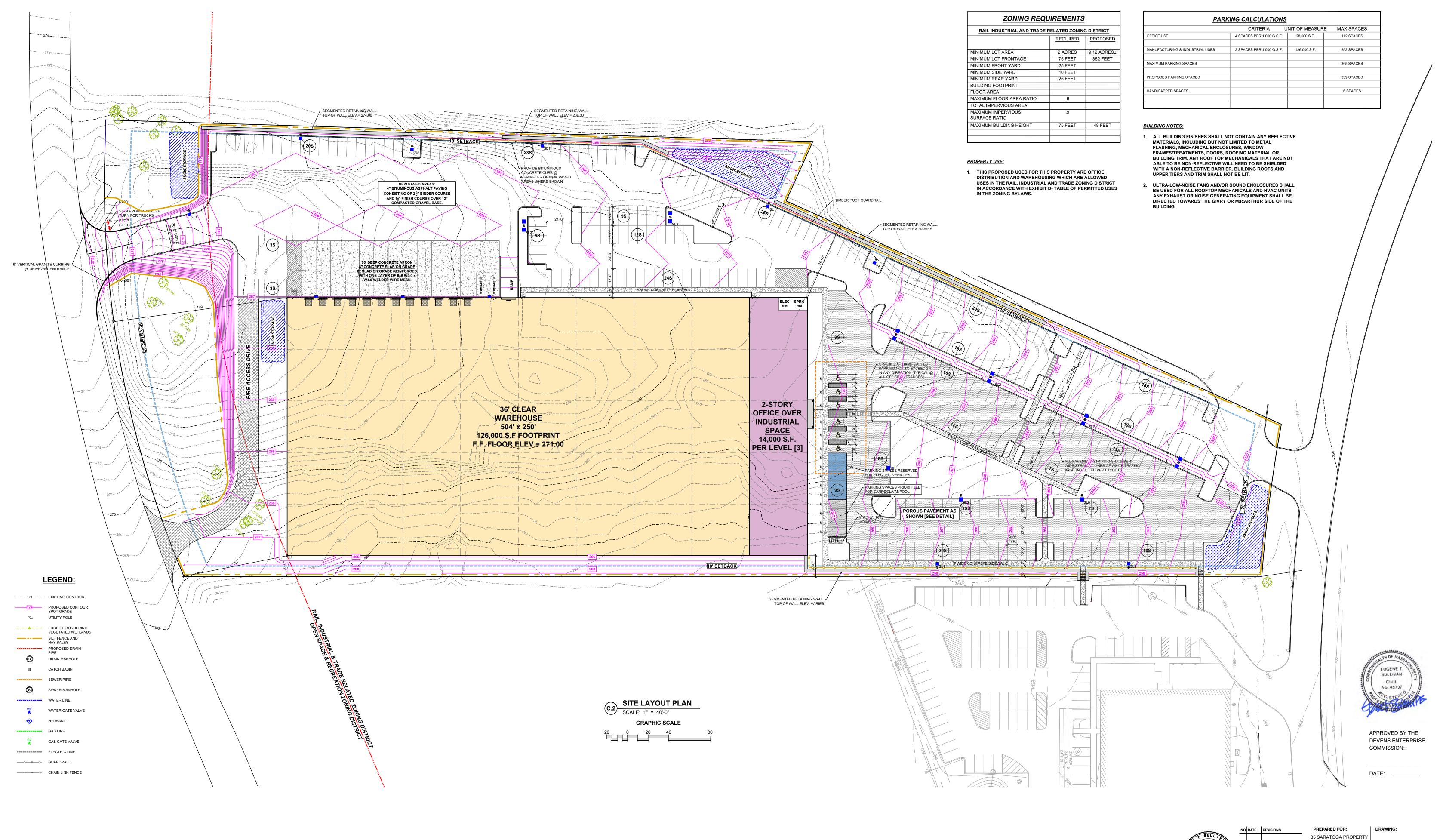
APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

DATE:

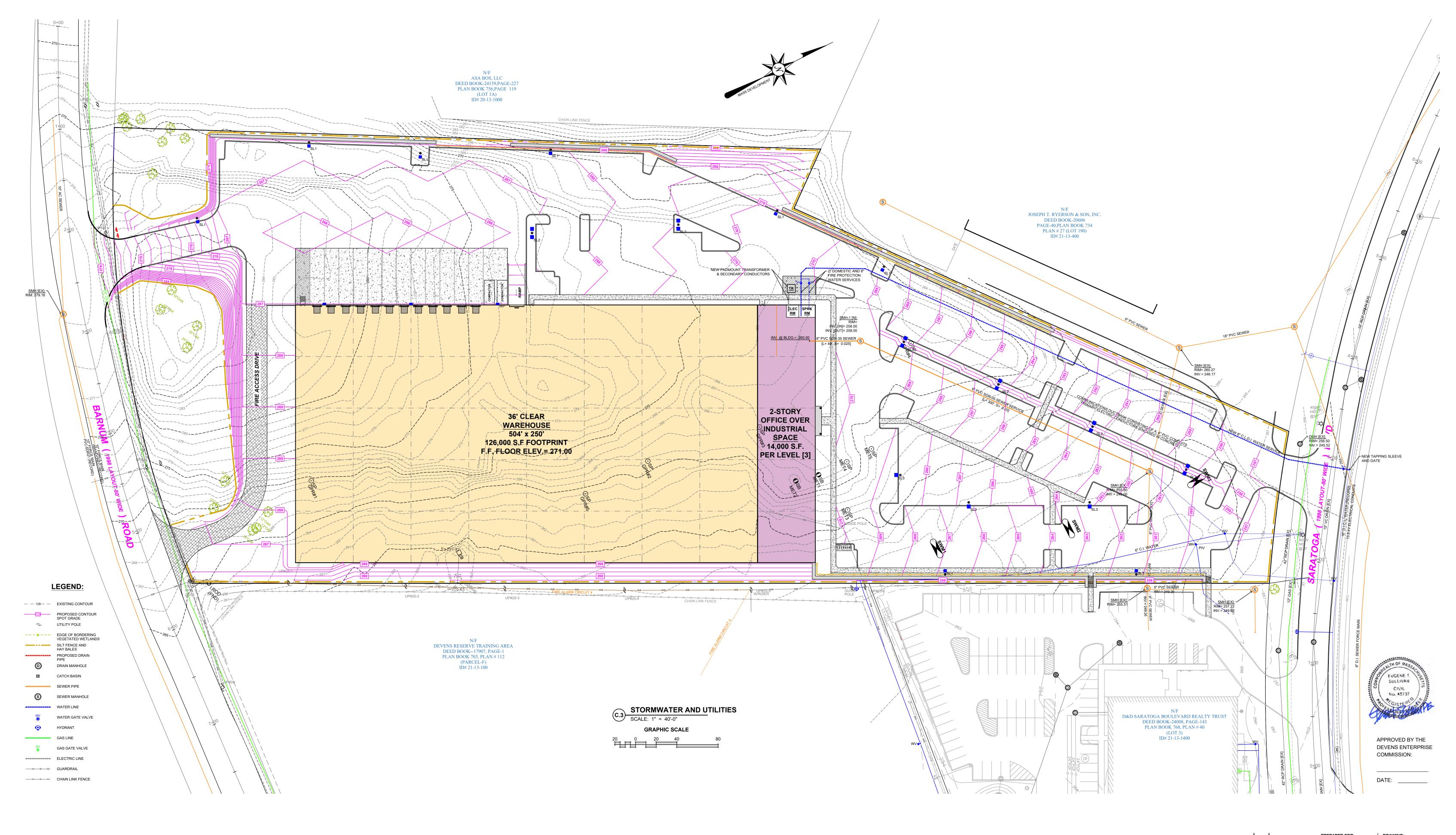


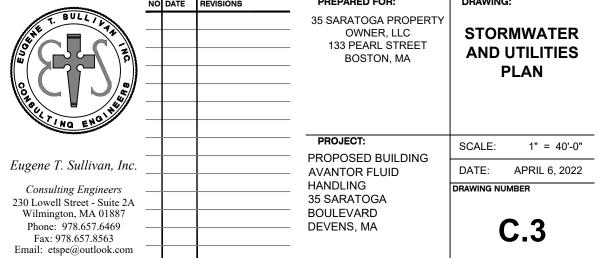


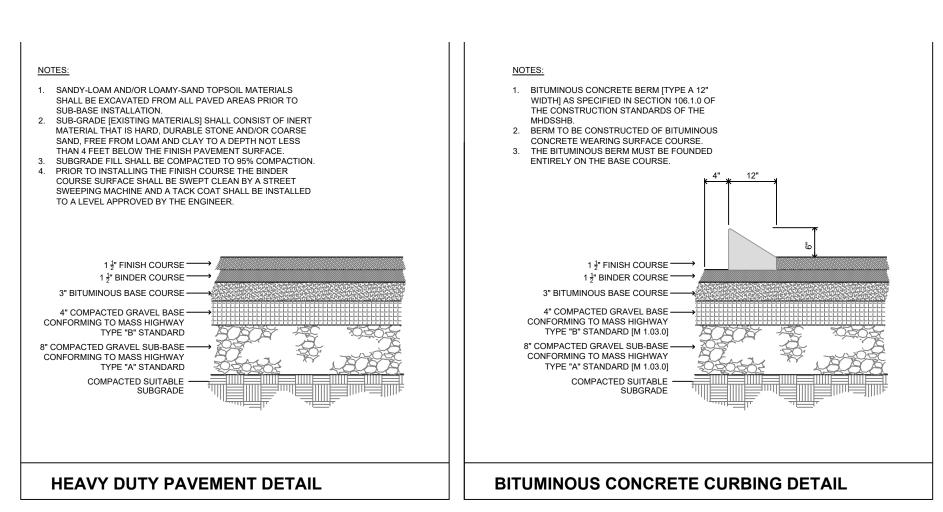
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				PROJECT: PROPOSED BUILDING	SCALE: 1" = 40'-0"
Eugene T. Sullivan, Inc.	=			— AVANTOR FLUID	DATE: APRIL 6, 2022
Consulting Engineers 230 Lowell Street - Suite 2A Wilmington, MA 01887 Phone: 978.657.6469 Fax: 978.657.8563 Email: etspe@outlook.com	230 Lowell Street - Suite 2A Wilmington, MA 01887 Phone: 978.657.6469 Fax: 978.657.8563		HANDLING35 SARATOGABOULEVARDDEVENS, MA	C.1	

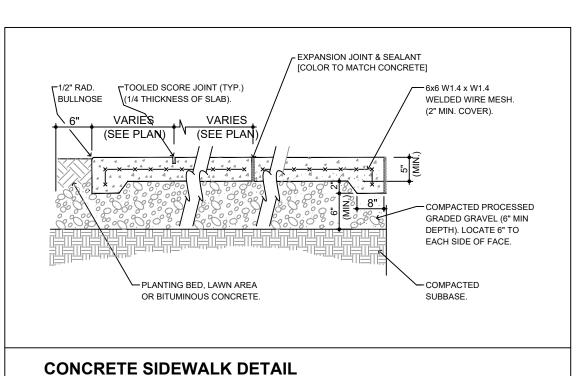


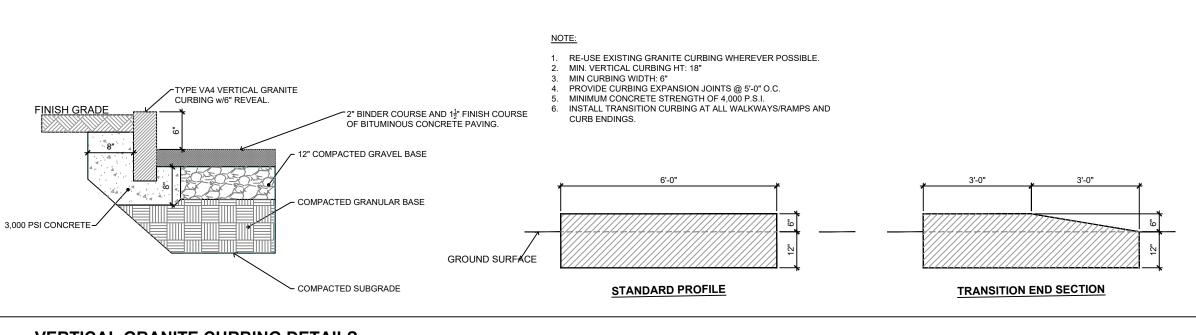
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CONTRACTOR OF THE PARTY OF THE			35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	SITE PLAN LAYOUT
			PROJECT: PROPOSED BUILDING	SCALE: 1" = 40'-0"
Eugene T. Sullivan, Inc.			— AVANTOR FLUID	DATE: APRIL 6, 2022
Consulting Engineers 230 Lowell Street - Suite 2A Wilmington, MA 01887 Phone: 978.657.6469 Fax: 978.657.8563 Email: etspe@outlook.com			HANDLING 35 SARATOGA BOULEVARD DEVENS, MA	C.2

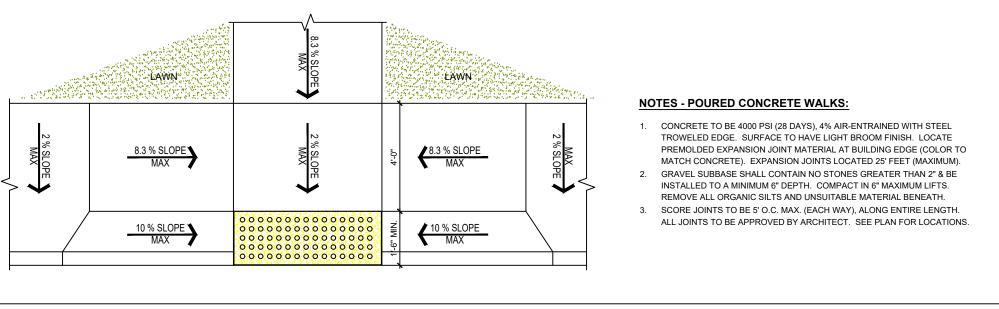






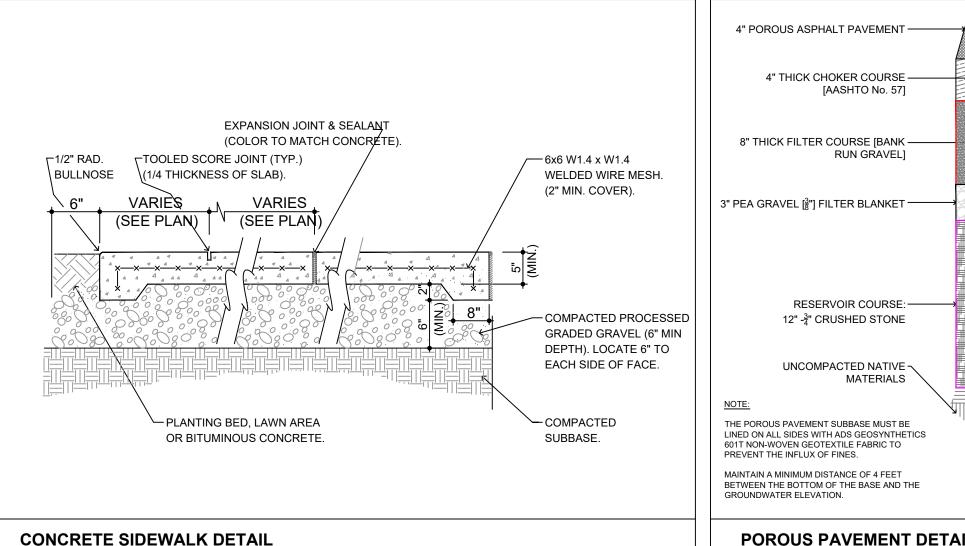


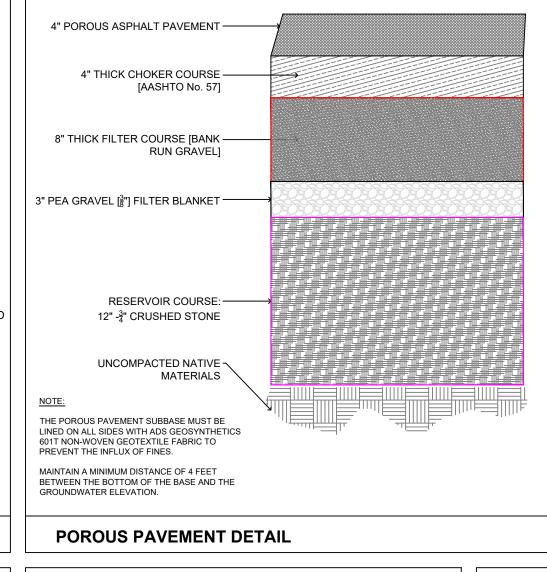


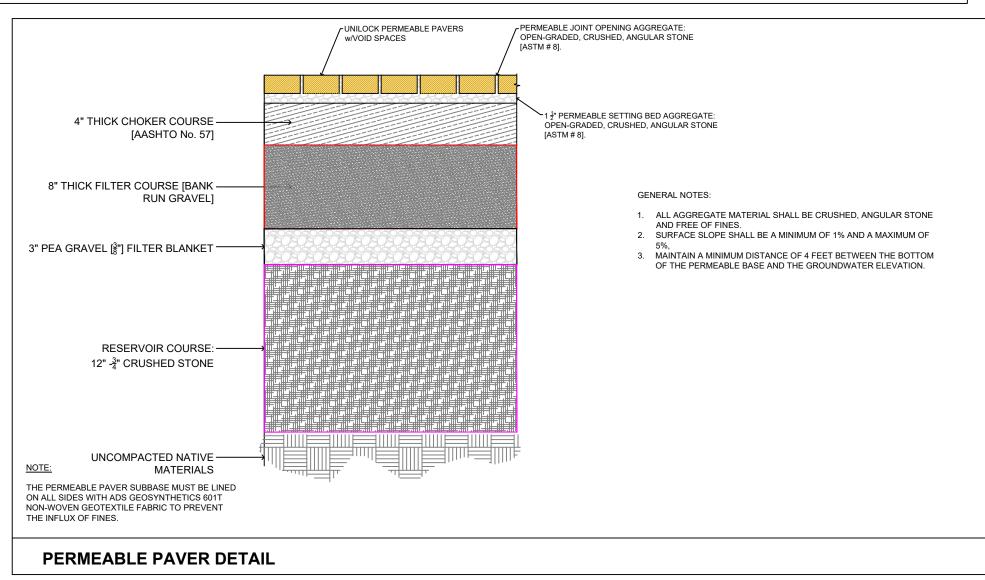


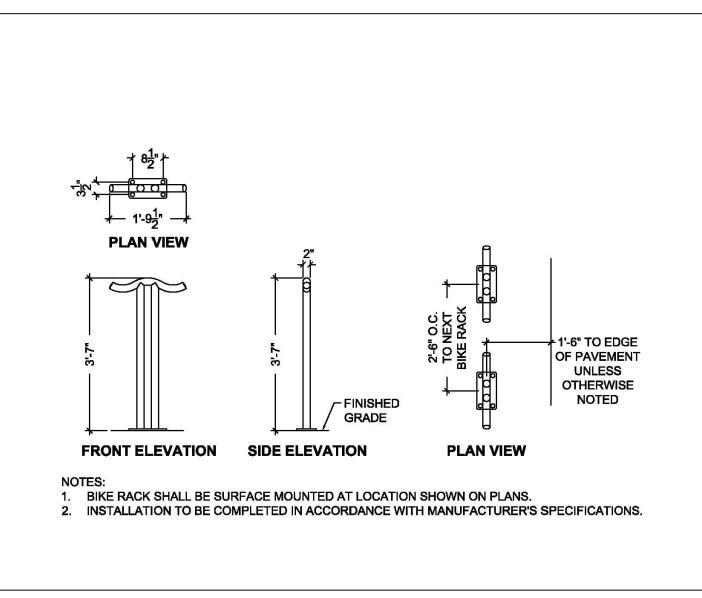
VERTICAL GRANITE CURBING DETAILS 4" POROUS ASPHALT PAVEMENT -



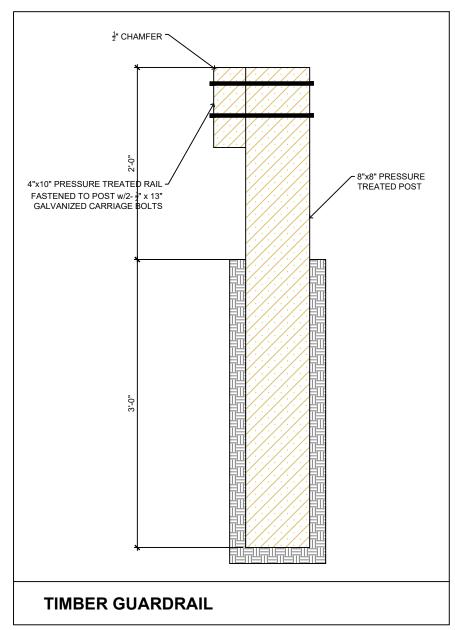


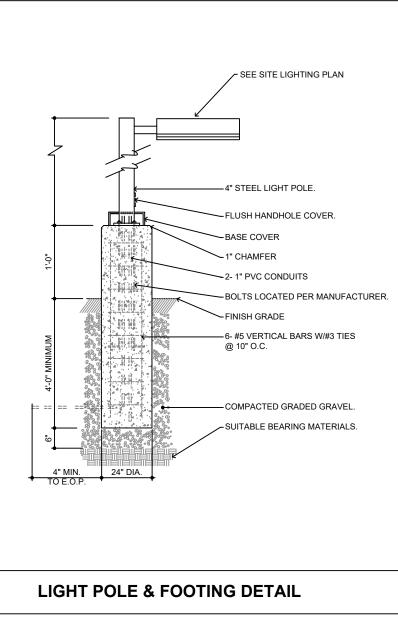


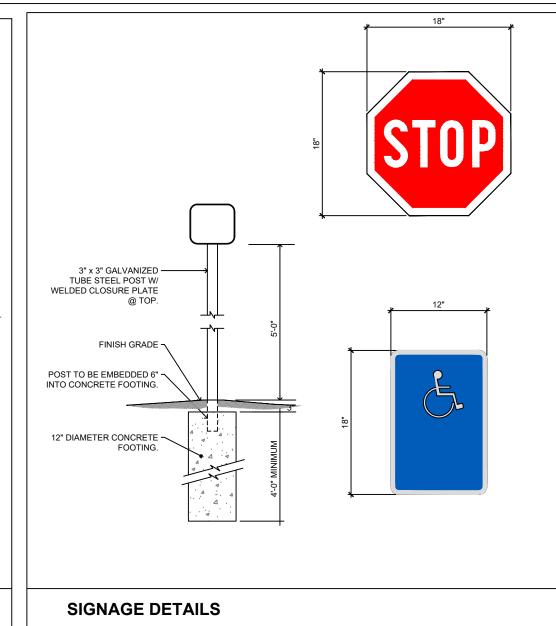




BIKE RACK DETAIL







DRAINAGE AND UTILITIES NOTES:

- 1. ALL UNDERGROUND STRUCTURES, INCLUDING MANHOLES, CATCH BASINS, AREA DRAINS, THE PUMP STATION AND GREASE TRAP, SHALL BE DESIGNED TO WITHSTAND H-20 LOADING. 2. ALL STORM DRAINAGE PIPING TO BE HIGH DENSITY POLYETHYLENE [HDPE, ADS N-12 OR APPROVED EQUAL] OR RCP CLASS IV CAPABLE OF WITHSTANDING H-20 LOADING. MINIMUM CLEARANCE BETWEEN PROPOSED DRAINAGE PIPING AND OTHER UTILITIES/STRUCTURES SHALL BE 18 INCHES VERTICALLY AND 4 FEET HORIZONTALLY. THE MINIMUM COVER OF THE HDPE PIPE IS 1'-0" FOR H-20 LOADS, THIS COVER IS MEASURED FROM THE PIPE OD TO THE TOP OF RIGID PAVEMENT.
- 3. THE MAINTENANCE OF ALL DRAINAGE STRUCTURES IS THE RESPONSIBILITY OF THE OWNER. 4. ALL CONSTRUCTION AND TESTING METHODS SHALL COMPLY WITH THE LOCAL RULES AND
- REGULATIONS. IN CASES WHERE THE DRAWINGS DIFFER FROM THESE REGULATIONS, THE MOST RESTRICTIVE REQUIREMENT SHALL APPLY.
- 5. ALL DRAINAGE STRUCTURES AND DETAILS TO BE BE CONSTRUCTED AND INSPECTED CONSISTENT WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY. 6. THE CONTRACTOR SHALL INSPECT AND RESTORE / CLEAN ALL FACILITIES [INLETS, MANHOLES,
- BASINS. ETCI OF SEDIMENT AND DEBRIS PRIOR TO THE ENGINEER'S ACCEPTANCE. 7. PROPOSED GAS, ELECTRIC, WATER, TELEPHONE AND TELEVISION SERVICE LOCATIONS MUST BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION DETAILS TO BE CONSISTENT WITH UTILITY COMPANY STANDARDS AND REQUIREMENTS.
- 8. CONTRACTOR TO PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL 9. ALL WATER MAINS AND WATER SERVICES SHALL HAVE A MINIMUM OF FIVE [5] FEET OF COVER.
- 10. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE. ALL
- WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. 11. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL CONSTRUCT THE WATER MAIN AND ITS APPURTENANCE
- WORK IN ACCORDANCE WITH THE LOCAL WATER DEPARTMENT'S STANDARDS AND SPECIFICATIONS AND PAY FOR ALL ASSOCIATED FEES AS REQUIRED BY THE WATER DEPARTMENT. THE CONTRACTOR SHALL CONTACT THE WATER DEPARTMENT TO ENSURE
- PROPER INSPECTIONS OF WATER PIPING PRIOR TO BACKFILLING. 12. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED. COORDINATE TESTING
- 13. ALL SEWER PIPE WITH LESS THAN 5' OF COVER UNDER PAVEMENT AND LESS THAN 4' OF

OF SEWER CONSTRUCTION WITH THE LOCAL AUTHORITY.

- COVER UNDER LOAMED AREAS SHALL BE INSULATED. INSULATION SHALL BE 2" THICK POLYURETHANE INSULATION WITH PVC JACKET PLACED AROUND PIPE.
- 14. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ANY WATER AND SANITARY SEWER LINES. AN 18" INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- 15. THE RELOCATION OF THE WATER AND SEWER SERVICES ALONG THE EAST END OF THE PROPOSED ADDITION WILL REQUIRE CLOSE COORDINATION WITH THE DEVENS UTILITIES DEPARTMENT TO MINIMIZE POTENTIAL IMPACTS ON ADJACENT PROPERTIES. THE NEW SEWER CONNECTIONS WILL REQUIRE A BYPASS PUMP STATION TO ENSURE SERVICE TO THE OTHER
- 16. MECHANICAL AND FIRE PROTECTION ENGINEERS TO VERIFY DESIGN AND SIZES OF PROPOSED
- WATER AND SEWER SERVICES TO SITE. 17. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH THE POWER
- 18. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
- 19. WHERE MANUFACTURERS ARE SPECIFIED ON THESE DRAWINGS, APPROVED EQUALS MAY BE SUBSTITUTED UPON WRITTEN APPROVAL FROM THE CIVIL ENGINEER OF RECORD. 20. IF AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED. THE LOCATION. ELEVATION. AND SIZE OF THE UTILITY OR OTHER CONFLICT SHALL BE ACCURATELY DETERMINED BY THE CONTRACTOR WITHOUT DELAY, AND THE INFORMATION
- FURNISHED IN WRITING TO CIVIL ENGINEER OF RECORD TO RESOLVE THE CONFLICT. 21. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF NEW UTILITY SERVICES, LOCATIONS AND ELEVATIONS WITH THE UTILITY COMPANIES AND THE BUILDING DRAWINGS. 22. THE CONTRACTOR IS RESPONSIBLE TO SUBMIT TESTING REPORTS, SHOP DRAWINGS AND
- PRODUCT SPECIFICATIONS TO THE CIVIL ENGINEER OF RECORD FOR MATERIALS, STRUCTURES, EQUIPMENT, RETAINING WALLS, ETC. FOR APPROVAL PRIOR TO INSTALLATION 23. THE CONTRACTOR IS TO SUBMIT AS-BUILT PLANS IN ELECTRONIC CAD FORMAT TO THE OWNER AND CIVIL ENGINEER OF RECORD UPON COMPLETION OF THE PROJECT. THE AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A MA LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER. AS-BUILT DRAWINGS SHALL ALSO BE PROVIDED TO THE DEVENS ENTERPRISE
 - COMMISSION AND COMPLY WITH THEIR AS-BUILT POLICY: https://www.devensec.com/development/as-built policy.pdf

GRADING NOTES:

COMPACTION REQUIREMENTS:

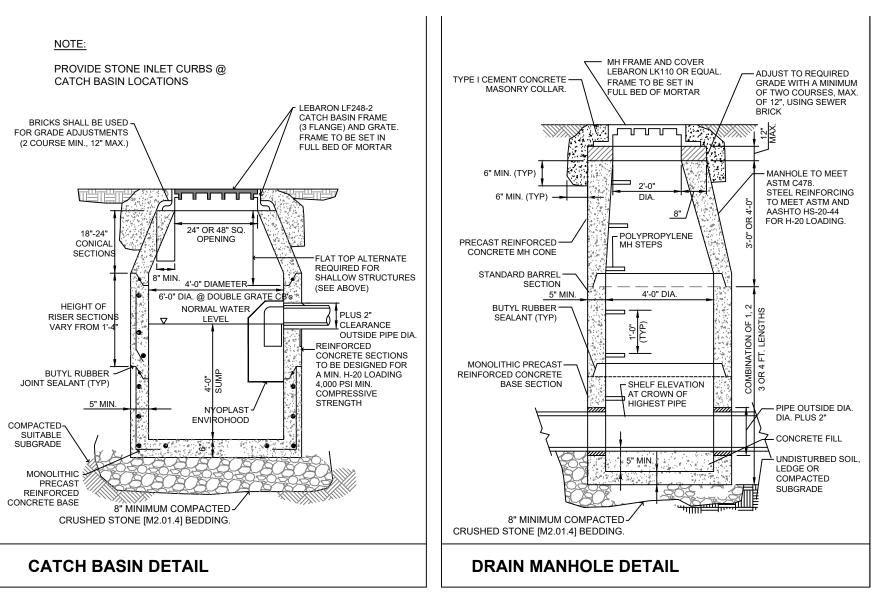
MINIMUM COMPACTION

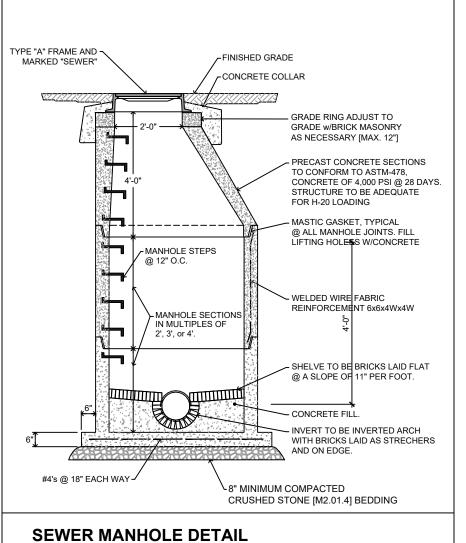
- BELOW PAVED OR CONCRETE AREAS TRENCH BEDDING MATERIALS 95 %
- BELOW LOAM AND SEED AREAS
- 1. ALL PERCENTAGES OF COMPACTION TESTING SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS MUST BE MADE IN ACCORDANCE WITH ASTM 2. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR
- 3. SPRINKLER OR USE A WATER TRUCK AS NECESSARY TO APPLY WATER DURING GRADING OPERATIONS IN ORDER TO MINIMIZE SEDIMENT TRANSPORT AND MAINTAIN ACCEPTABLE AIR QUALITY CONDITIONS. REPETITIVE TREATMENTS SHALL BE DONE AS NEEDED UNTIL THE GRADES ARE PAVED OR SEEDED.
- 4. ONCE THE PERIMETER EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED, CUTTING AND EARTH PREPARATION SHALL COMMENCE FOR THE PROPOSED CONSTRUCTION
- 5. DIVERSION BERMS AND SEDIMENT TRAPS SHALL BE CONSTRUCTED, AS NEEDED, TO CAPTURE SILT LADEN RUNOFF FROM THE SITE.
- 6. SITE CLEARING AND GRUBBING CAN PROCEED UP TO THE LIMIT OF WORK, NO ALTERATIONS SHALL TAKE PLACE OUTSIDE THE LIMIT OF WORK FOR THE PROJECT WITHOUT PRIOR
- AUTHORIZATION FROM THE CIVIL ENGINEER OF RECORD AND THE CONSERVATION AGENT. 7. PROCEED WITH ROUGH GRADING OF SUB-SOILS IN PREPARATION FOR GRAVEL BASE
- 8. ALL EARTHWORK AND SITE PREPARATION SHALL BE DONE IN STRICT ACCORDANCE WITH THE
- RECOMMENDATIONS OF ANY SUBSURFACE INVESTIGATION OR GEOTECHNICAL REPORTS PREPARED FOR THIS SITE.
- 9. 2" BINDER COURSE AND 1½" FINISH COURSE OF BITUMINOUS PAVEMENT TO BE INSTALLED ON SITE ON ALL PARKING AREAS. GRAVEL BASE CROSS-SECTION TO BE PREPARED AND INSPECTED BY THE CIVIL ENGINEER OF RECORD PRIOR TO PAVEMENT INSTALLATION.
- 10. THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- 11. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL RECIEVE A MINIMUM OF 6" OF LOAM AND SEEDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ANY LOAMED AND SEEDED AREAS UNTIL LAWN GROWTH IS ESTABLISHED AND APPROVED BY THE ENGINEER /
- 12. CONTRACTOR TO PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM ANY BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

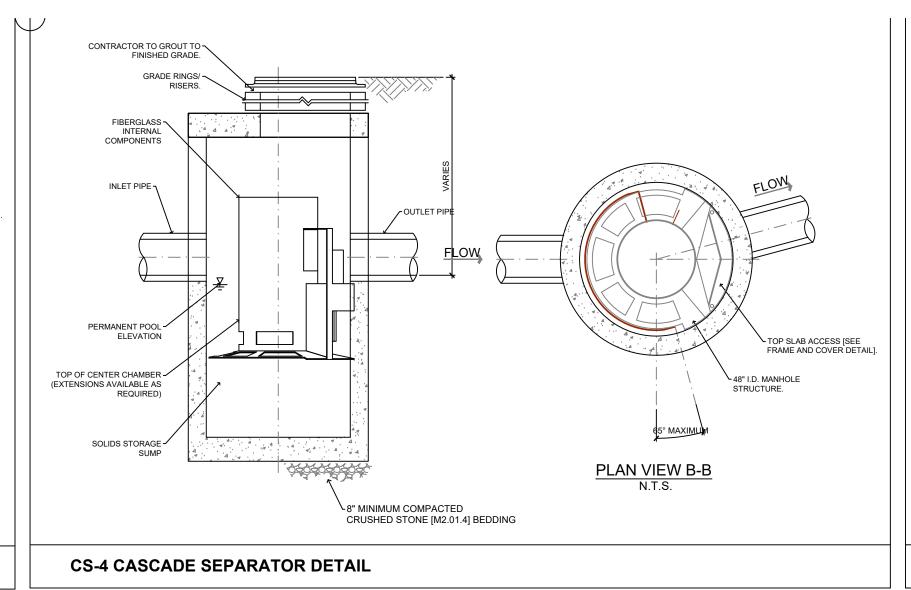


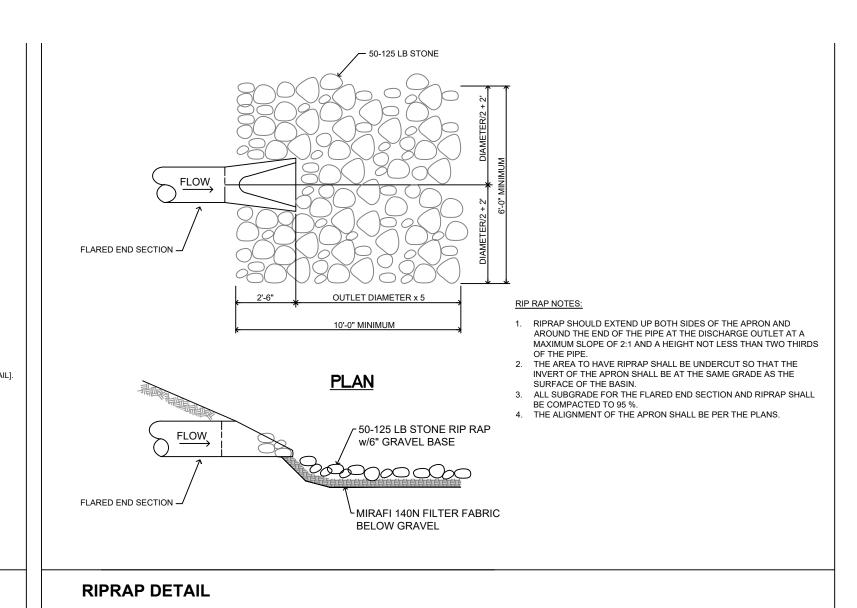
APPROVED BY THE **DEVENS ENTERPRISE** COMMISSION:

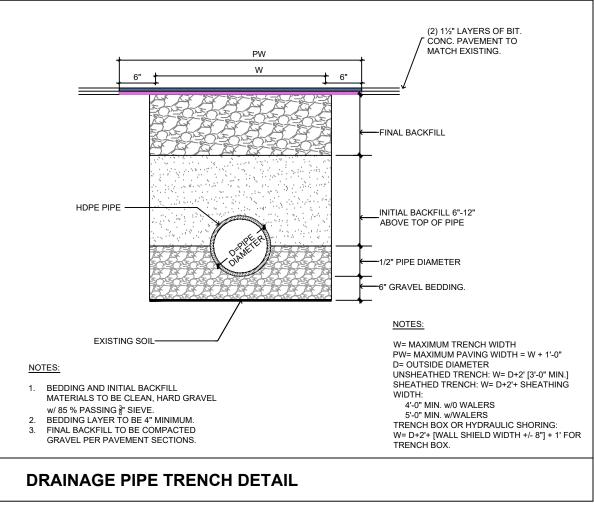
	NO DATE	REVISIONS	PREPARED FOR:	DRAWING:
CONSULTING ENOTHER			35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	SITE DETAILS PLAN
			PROPOSED BUILDING	SCALE: AS NOTED
Eugene T. Sullivan, Inc.	-		— AVANTOR FLUID	DATE: APRIL 6, 2022
Consulting Engineers 230 Lowell Street - Suite 2A Wilmington, MA 01887 Phone: 978.657.6469 Fax: 978.657.8563 Email: etspe@outlook.com			HANDLING 35 SARATOGA BOULEVARD DEVENS, MA	C.4.1

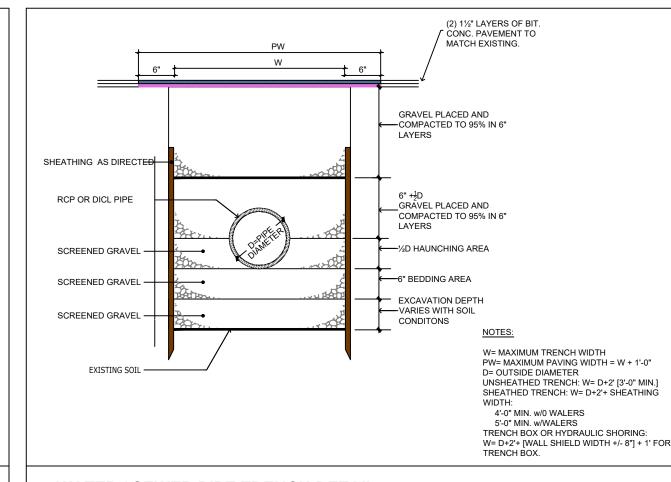


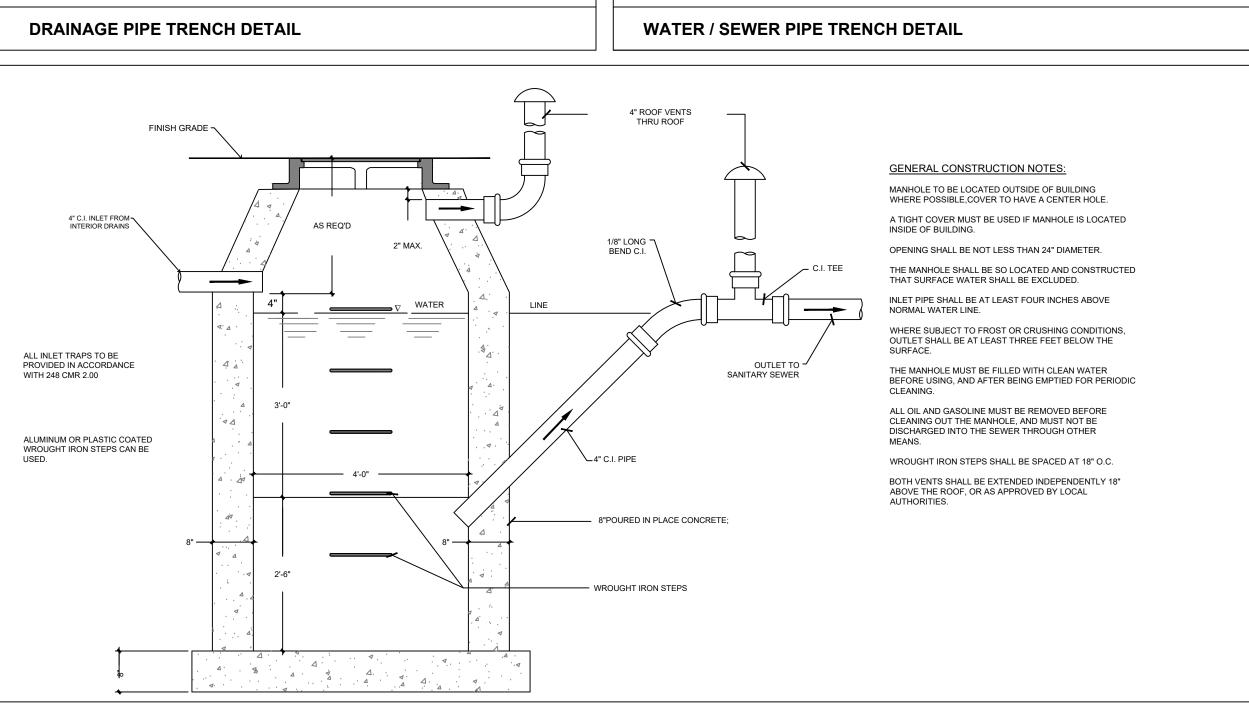


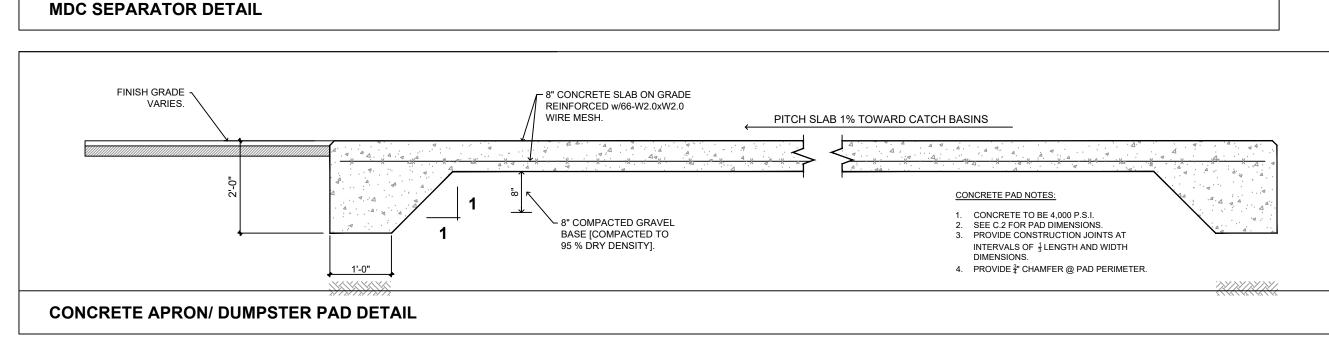


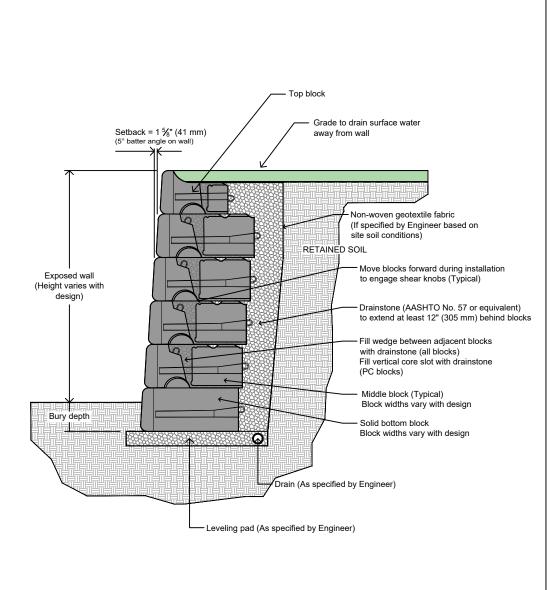












SEGEMENTED RETAINING WALL

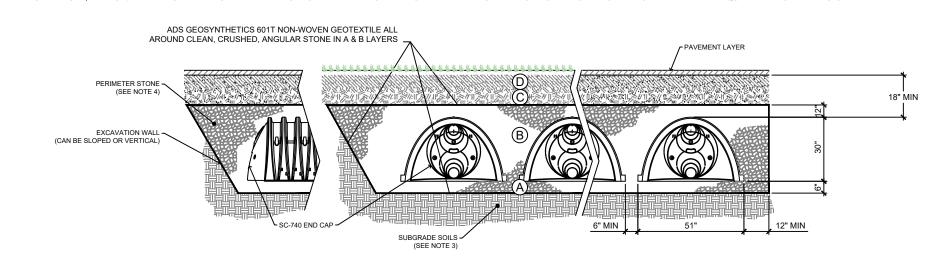
MATERIAL LOCATION		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT	
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.	
С	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145¹ A-1, A-2-4, A-3 OR AASHTO M43¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVE THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FO WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMI FORCE NOT TO EXCEED 20,000 lbs (89 kN).	
В	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.	
Α	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}	

THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE". STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A'L LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.

WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGNS, CONTACT STORMTECH FOR

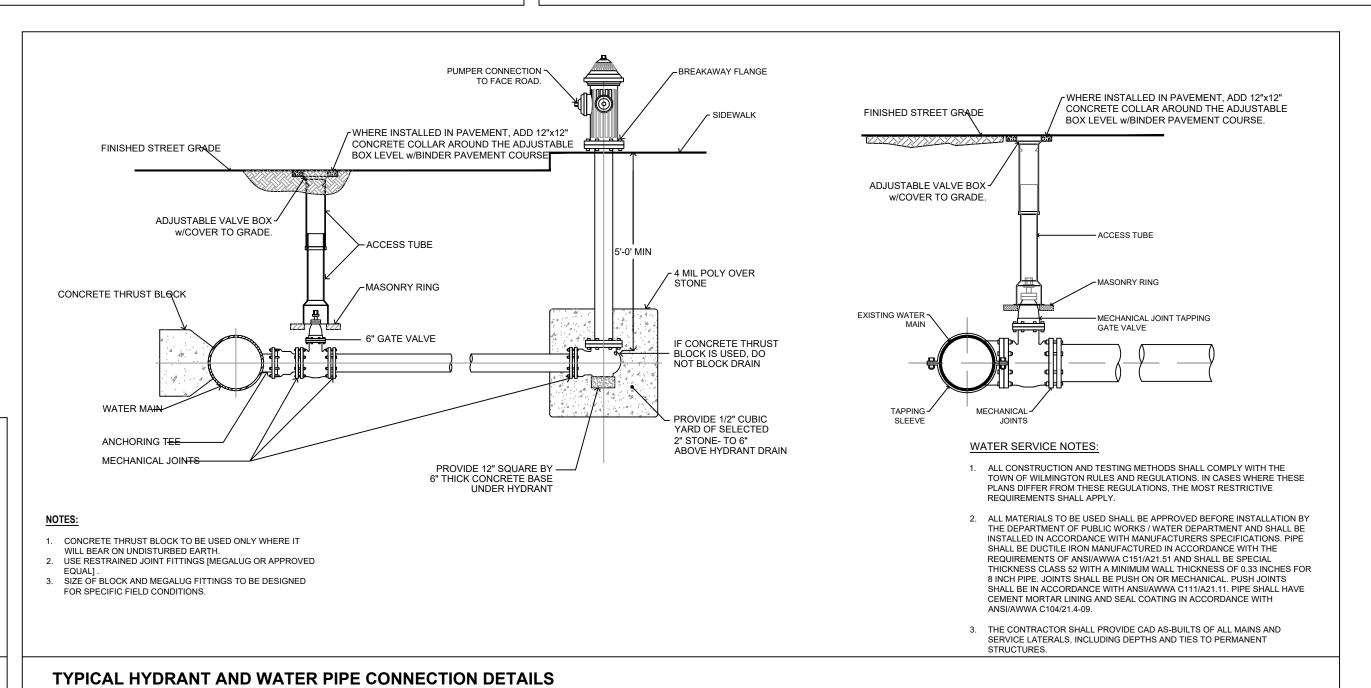
COMPACTION REQUIREMENTS.

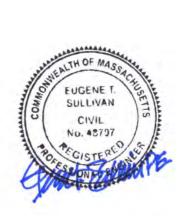
ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH
- CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION: • TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550

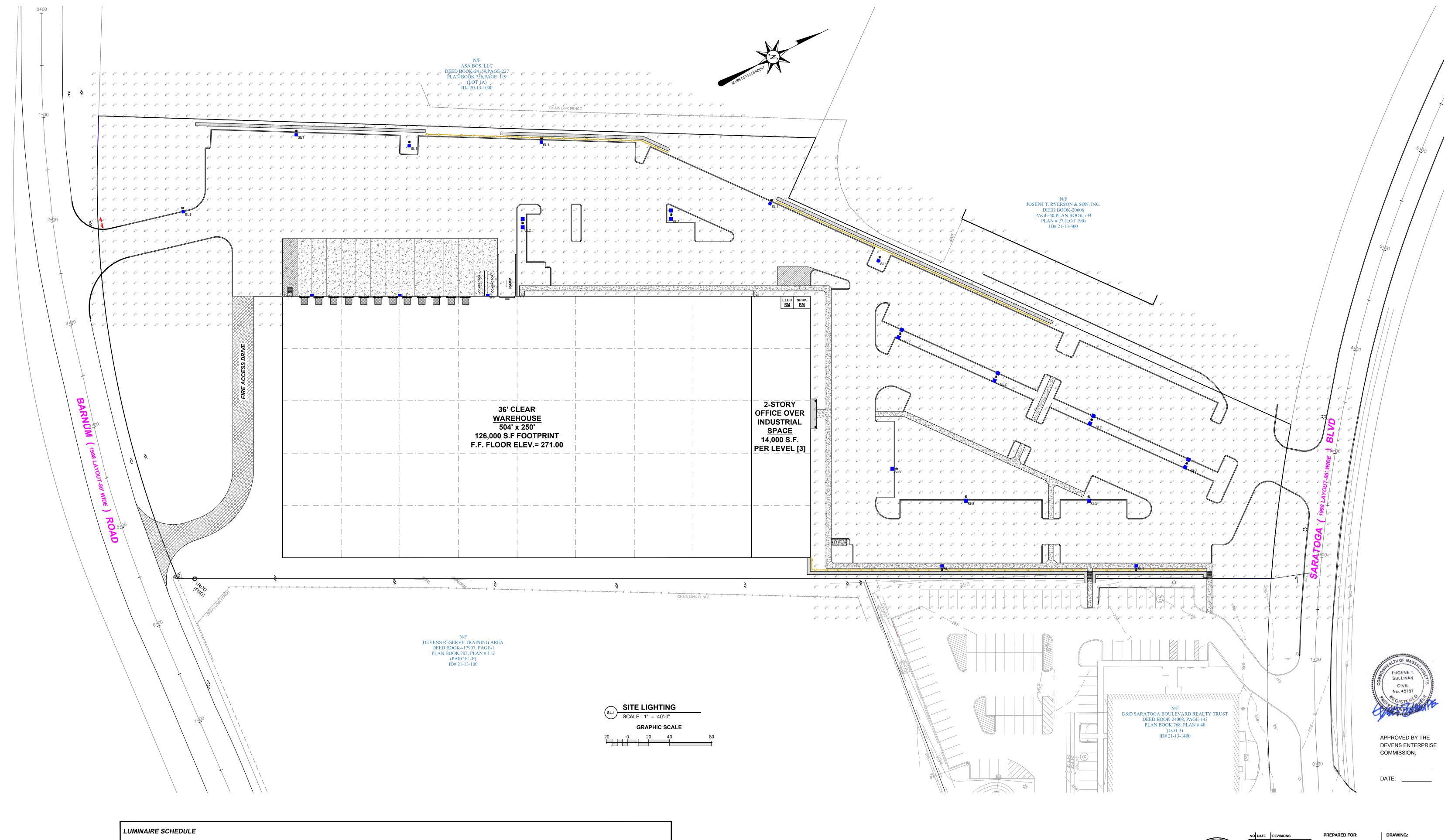
LBS/IN/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW





APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

	NO DATE	REVISIONS	PREPARED FOR:	DRAWING:
SULLIVE SULLIV			35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	SITE DETAILS PLAN
-			PROJECT: PROPOSED BUILDING	SCALE: AS NOTED
Eugene T. Sullivan, Inc.	_		AVANTOR FLUID	DATE: APRIL 6, 2022
Consulting Engineers 230 Lowell Street - Suite 2A Wilmington, MA 01887 Phone: 978.657.6469 Fax: 978.657.8563 Email: etspe@outlook.com			HANDLING 35 SARATOGA BOULEVARD DEVENS, MA	C.4.2



Qty	Label	Manufacturer	Catalog Number	Description	LLF	Input Watts
8	SL1	Lithonia Lighting	DSX1 LED P6 30k BLC MVOLT MOUNTING CONTROL XX FINISH Single Head Pole Mounted @ 25' AFG	SINGLE HEAD POLE USING DSX- BLC OPTIC 25' MOUNTING	0.9	163
6	SL2	Lithonia Lighting	DSX1 LED P6 30k T3M MVOLT MOUNTING CONTROL XX FINISH Twin Head Pole @ 180 Degrees Mounted @ 25' AFG	TWIN HEAD POLE USING DSX- T3M OPTIC 25' MOUNTING	0.9	326
3	SL3	Lithonia Lighting	DSX1 LED P6 30k T3M MVOLT MOUNTING CONTROL XX FINISH Single Head Pole Mounted @ 25' AFG	SINGLE HEAD POLE USING DSX- T3M OPTIC 25' MOUNTING	0.9	163
3	WP	Lithonia Lighting	WDGE3 LED P3 70CRI R4 30k	WDGE3 LED WITH P3- PERFORMANCE PACKAGE, 3000k, 70 CRI, TYPE 4 OPTIC	0.9	72

	NO DATE	REVISIONS	PREPARED FOR:	DRAWING:
CON ON THE CONTRACT OF THE CON			35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	SITE LIGHTING PLAN
			PROJECT: PROPOSED BUILDING	SCALE: 1" = 40'-0"
Eugene T. Sullivan, Inc.		-	— AVANTOR FLUID	DATE: APRIL 6, 2022
Consulting Engineers 230 Lowell Street - Suite 2A Wilmington, MA 01887 Phone: 978.657.6469 Fax: 978.657.8563 Email: etspe@outlook.com			HANDLING 35 SARATOGA BOULEVARD DEVENS, MA	SL.1