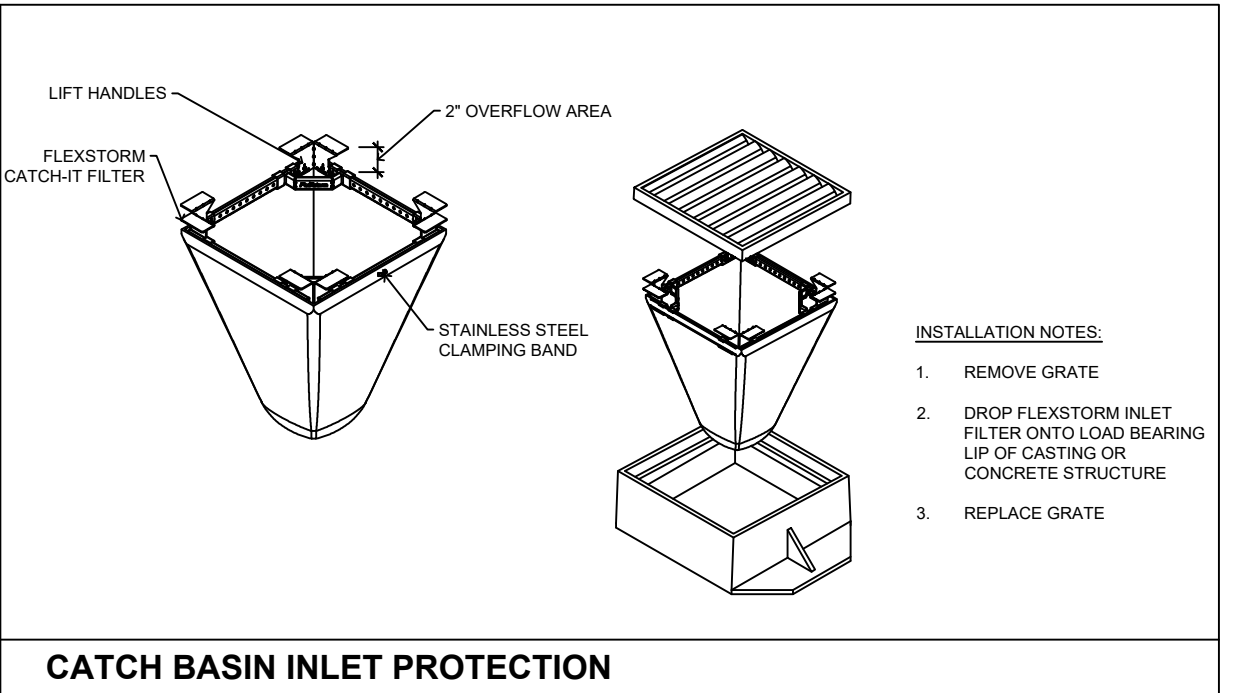
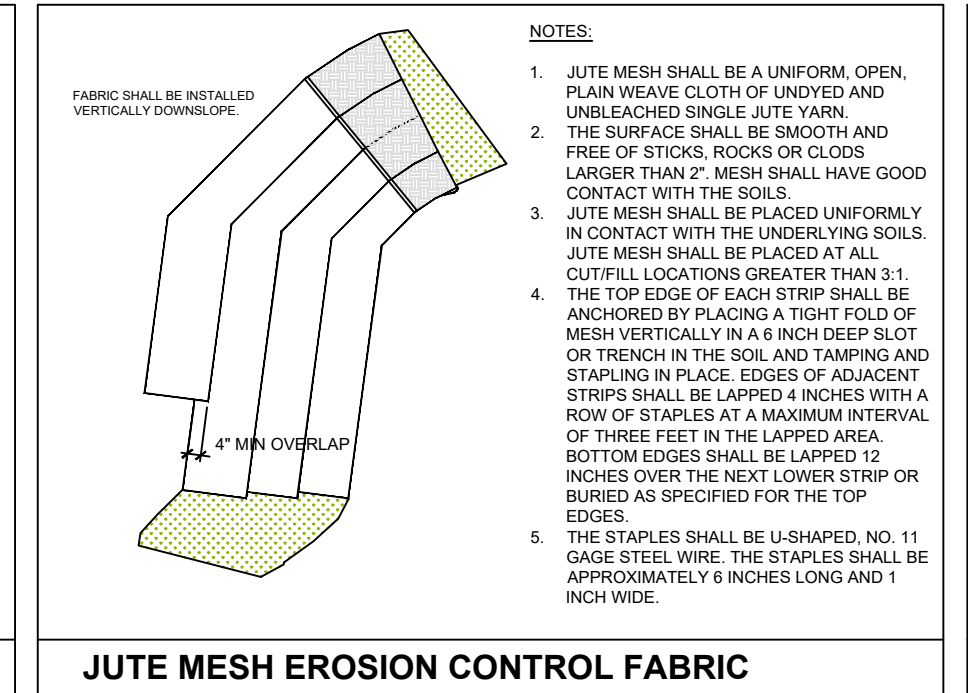
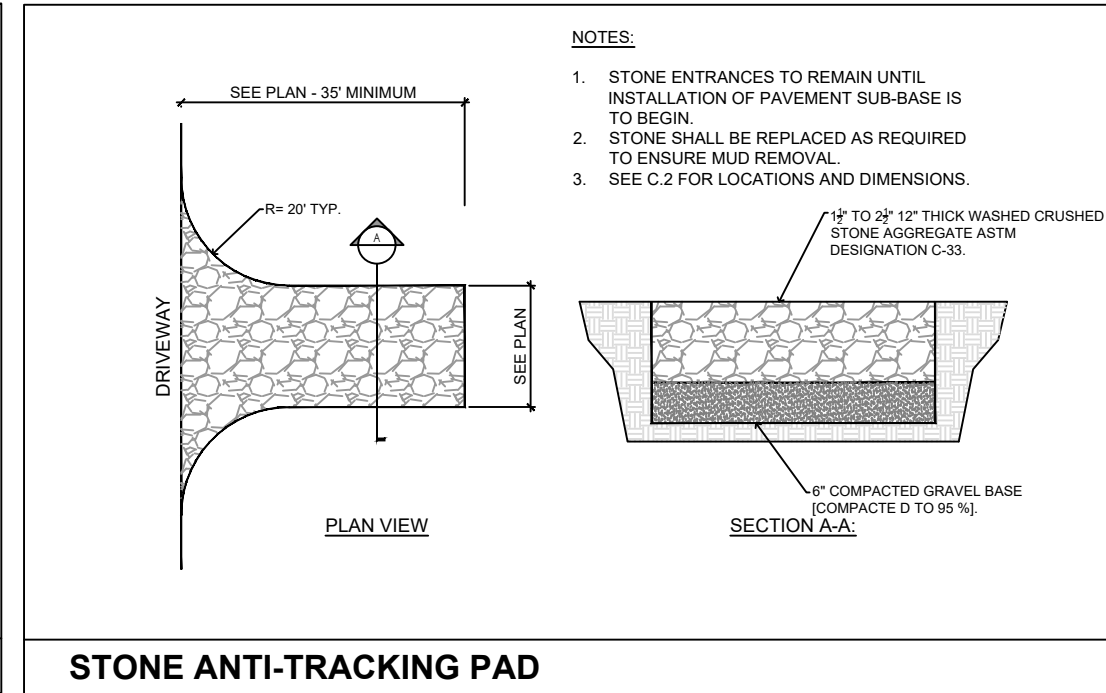
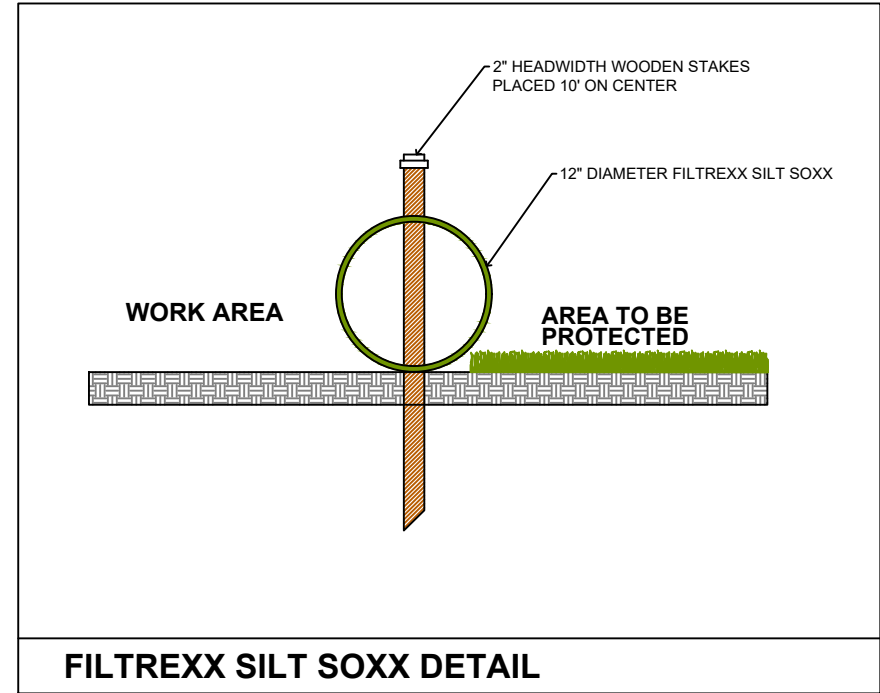


- THE FOLLOWING EROSION CONTROL PRINCIPLES SHALL APPLY TO THE LAND GRADING AND CONSTRUCTION PHASES:
1. STRIPPING OF VEGETATION, GRADING, OR OTHER SOIL DISTURBANCE SHALL BE DONE IN A MANNER TO MINIMIZE SOIL EROSION.
 2. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED. THE EXTENT OF THE AREA AND DURATION OF PERIOD WHICH THE AREA IS EXPOSED AND FREE OF VEGETATION SHALL BE KEPT WITHIN PRACTICAL LIMITS.
 3. TEMPORARY SEEDING, MULCHING, OR OTHER SUITABLE STABILIZATION MEASURES SHALL BE USED TO PROTECT EXPOSED CRITICAL AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE.
 4. ALL SEDIMENT SHALL BE CONTAINED ON-SITE AND REMOVED AS NECESSARY. CUT AND FILL SLOPES AND STOCKPILED MATERIALS SHALL BE PROTECTED USING SILT FENCE AND FILTER LOGS TO PREVENT EROSION. SLOPES, ESPECIALLY DOWNGRADIENT OF PAVED AREAS, SHALL BE STABILIZED AS SOON AS POSSIBLE AND PROTECTED WITH PERMANENT EROSION PROTECTION WHEN EROSION EXPOSURE PERIOD IS EXPECTED TO BE GREATER THAN OR EQUAL TO THREE MONTHS. TEMPORARY EROSION PROTECTION HAS BEEN INCORPORATED PRIOR TO CONSTRUCTION.
 5. TEMPORARY EROSION PROTECTION SHALL BE ACCOMPLISHED BY SEEDING WITH GRASS OR OTHER MIXTURES AS SHOWN ON THESE PLANS.
 6. TEMPORARY EROSION PROTECTION SHALL BE ACCOMPLISHED BY COVERING WITH EROSION PROTECTION MATERIALS AS REQUIRED BY THE ORDER OF CONDITIONS.
 7. EXCEPT WHERE SPECIFIED SLOPE IS INDICATED ON THESE PLANS, FILL SLOPES SHALL BE LIMITED TO A GRADE OF 2:1 (HORIZONTAL TO VERTICAL). CUT SLOPES AT 1.5:1 SHOULD BE NETTED WITH BIODEGRADABLE JUTE MESH OR EQUAL.

- THE FOLLOWING EROSION AND SEDIMENT CONTROL TECHNIQUES AND PROCEDURES ARE TO BE EMPLOYED TO PROTECT THE ADJACENT WETLANDS AND NEIGHBORING PROPERTIES AND ROADWAYS:
1. PRIOR TO ANY SITE ACTIVITIES, EROSION CONTROLS ARE TO BE PLACED WHERE SHOWN ON THESE PLANS. EROSION CONTROLS ARE TO TRAP SEDIMENT TRANSPORTED BY RUN-OFF BEFORE IT IMPACTS THE WETLANDS OR LEAVES THE CONSTRUCTION SITE. THESE SILT FENCES AND HAY BALES ARE TO BE INSPECTED PERIODICALLY AND REPAIRED / REPLACED AS NECESSARY DURING THE CONSTRUCTION PROJECT. INSPECTIONS OF THE EROSION CONTROLS ARE TO BE PERFORMED WEEKLY AND AFTER EVERY SIGNIFICANT PRECIPITATION EVENT EXCEEDING 2" OF PRECIPITATION.
 2. THE EROSION CONTROLS ARE TO BE IN PLACE PRIOR TO ANY EXCAVATION OR CLEARING OF THE SITE. AREAS OUTSIDE THE EROSION CONTROLS ARE NOT TO BE DISTURBED DURING CONSTRUCTION.
 3. SEDIMENT BUILDUP AT THE EROSION CONTROLS SHALL BE REMOVED ONCE THE SEDIMENT VOLUME REACHES 1/2 THE HEIGHT OF THE EROSION CONTROLS.
 4. OVERFLOW RUNOFF FROM OFF-SITE AND UNDISTURBED AREAS AWAY FROM CONSTRUCTION TO MINIMIZE SOIL EROSION AND SEDIMENTATION ON AND OFF-SITE. TEMPORARILY STABILIZE ALL HIGHLY ERODIBLE SOILS AND SLOPES IMMEDIATELY.
 5. LAND DISTURBANCE ACTIVITIES EXCEEDING TWO ACRES IN SIZE SHALL NOT BE DISTURBED WITHOUT A SEQUENCING PLAN THAT REQUIRES STORMWATER CONTROLS TO BE INSTALLED AND EXPOSED SOILS STABILIZED. AS DISTURBANCES BEYOND THE TWO ACRES CONTINUE, A CONSTRUCTION PHASING PLAN, INCLUDING EROSION CONTROL AND SEDIMENT CONTROL PLAN FOR EACH PHASE, MUST BE SUBMITTED PRIOR TO ANY CONSTRUCTION ON THE SITE. MARK CLEARINGS AND GRADING OF THE ENTIRE SITE SHOULD BE AVOIDED.
 6. SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
 7. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED.
 8. PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THRU MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER IS AN APPROPRIATE TEMPORARY MULCH AND/OR NON-ASPHALTIC SOIL TACKIFIER WITH WINTER RYE SHALL BE APPLIED.
 9. ALL SLOPES STEEPER THAN 2:1, AS WELL AS PRISMATIC DICES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS MUST, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOIL SEED AND ANCHORED STRAW MULCH OR OTHER APPROVED STABILIZATION MEASURES.
 10. TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONSTRUCTION AREAS ASSOCIATED WITH THE PROJECT. SIMILARLY, STABILIZATION MUST BE ESTABLISHED PRIOR TO CONVERTING TEMPORARY SEDIMENT TRAPBASINS INTO PERMANENT (POST-CONSTRUCTION) STORMWATER MANAGEMENT FACILITIES. ALL FACILITIES USED FOR TEMPORARY MEASURES SHALL BE CLEANED AND RE-STABILIZED PRIOR TO BEING PUT INTO FINAL OPERATION.
 11. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL TO REDUCE THE TRACKING OF SEDIMENT ONTO PUBLIC WAYS. PROVIDE A CRUSHED STONE FILTER AT THE DRIVE ENTRANCE. ALL CONSTRUCTION VEHICLES ENTERING AND LEAVING THE SITE SHALL USE THE PROPOSED CONSTRUCTION ENTRANCE.
 12. PROPER MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR IF DE-WATERING IS NECESSARY DURING CONSTRUCTION. THESE MEASURES SHALL INCLUDE DE-WATERING BAGS, TEMPORARY HAYBALES, SILT FENCES, SILT SOCKS AND/OR OTHER APPROVED DEVICES. THE DE-WATERING SETUP SHALL BE APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION.
 13. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE.
 14. THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE DURING CONSTRUCTION OF ALL STORMWATER FACILITIES INSTALLED OR AFFECTED BY THE PROJECT. ANY SEDIMENT OR DEBRIS COLLECTED WITHIN THESE FACILITIES FROM THE PROJECT WORK SHALL BE REMOVED PRIOR TO THE OWNER'S ACCEPTANCE.
 15. STREET SWEEPINGS SHALL BE PERFORMED ON ADJACENT ROADS AND STREETS AS NECESSARY DURING THE PROJECT DURATION.



NOTES:

1. STONE ENTRANCES TO REMAIN UNTIL INSTALLATION OF PAVEMENT SUB-BASE IS TO BEGUN.
2. STONE SHALL BE REPLACED AS REQUIRED TO ENSURE MUD REMOVAL.
3. SEE C-2 FOR LOCATIONS AND DIMENSIONS.

INSTALLATION NOTES:

1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE

REVISIONS:

NO.	DATE	REVISIONS

PREPARED FOR:
35 SARATOGA PROPERTY OWNER, LLC
133 PEARL STREET BOSTON, MA

PROJECT:
PROPOSED BUILDING AVANTON FLUID HANDLING
35 SARATOGA BOULEVARD DEVENS, MA

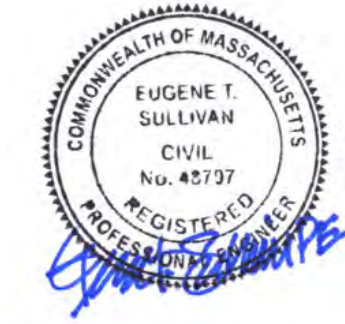
SCALE: 1" = 40'-0"

DATE: APRIL 6, 2022

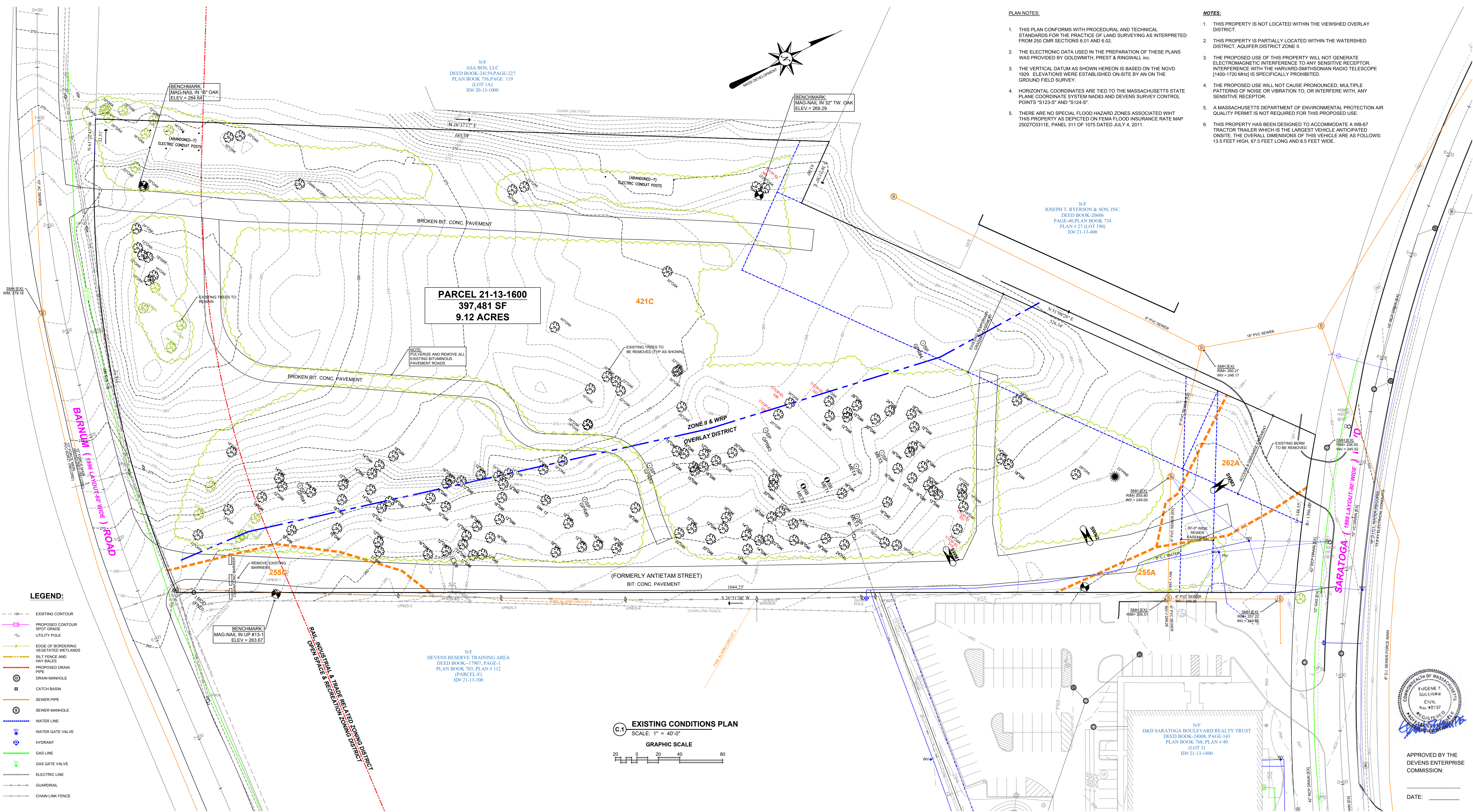
DRAWING NUMBER: EC.1

APPROVED BY THE DEVEN'S ENTERPRISE COMMISSION:

DATE: _____



Eugene T. Sullivan, Inc.
Consulting Engineers
230 Lowell Street - Suite 2A
Wilmington, MA 01887
Phone: 978.457.6469
Fax: 978.657.8563
Email: etsp@outlook.com



PLAN NOTES:

1. THIS PLAN CONFORMS WITH PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS INTERPRETED FROM 250 CMR SECTIONS 6.01 AND 6.02.
2. THE ELECTRONIC DATA USED IN THE PREPARATION OF THESE PLANS WAS PROVIDED BY GOLDWORTH, PREST & RINGWALL INC.
3. THE VERTICAL DATUM AS SHOWN HEREON IS BASED ON THE NGVD 1929. ELEVATIONS WERE ESTABLISHED ON-SITE BY AN ON THE GROUND FIELD SURVEY.
4. HORIZONTAL COORDINATES ARE TIED TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM NAD83 AND DEVENS SURVEY CONTROL POINTS "S123-S" AND "S124-S".
5. THERE ARE NO SPECIAL FLOOD HAZARD ZONES ASSOCIATED WITH THIS PROPERTY AS DEPICTED ON FEMA FLOOD INSURANCE RATE MAP 25027C031E, PANEL 311 OF 1075 DATED JULY 4, 2011.

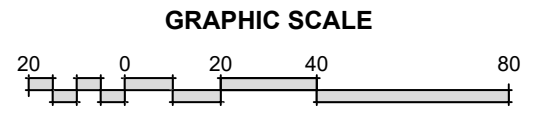
NOTES:

1. THIS PROPERTY IS NOT LOCATED WITHIN THE VIEWSHED OVERLAY DISTRICT.
2. THIS PROPERTY IS PARTIALLY LOCATED WITHIN THE WATERSHED DISTRICT, AQUIFER DISTRICT ZONE II.
3. THE PROPOSED USE OF THIS PROPERTY WILL NOT GENERATE ELECTROMAGNETIC INTERFERENCE TO ANY SENSITIVE RECEPTOR. INTERFERENCE WITH THE HARVARD-SMITHSONIAN RADIO TELESCOPE [1400-1720 MHz] IS SPECIFICALLY PROHIBITED.
4. THE PROPOSED USE WILL NOT CAUSE PRONOUNCED, MULTIPLE PATTERNS OF NOISE OR VIBRATION TO, OR INTERFERE WITH, ANY SENSITIVE RECEPTOR.
5. A MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION AIR QUALITY PERMIT IS NOT REQUIRED FOR THIS PROPOSED USE.
6. THIS PROPERTY HAS BEEN DESIGNED TO ACCOMMODATE A WB-67 TRACTOR TRAILER WHICH IS THE LARGEST VEHICLE ANTICIPATED ON-SITE. THE OVERALL DIMENSIONS OF THIS VEHICLE ARE AS FOLLOWS: 13.5 FEET HIGH, 67.5 FEET LONG AND 8.5 FEET WIDE.

LEGEND:

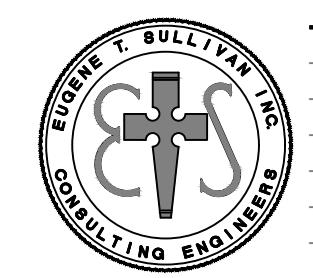
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- SPOT GRADE
- UTILITY POLE
- - - EDGE OF BORDERING VEGETATED WETLANDS
- - - SILT FENCE AND HAY BALES
- PROPOSED DRAIN PIPE
- DRAIN MANHOLE
- CATCH BASIN
- SEWER PIPE
- SEWER MANHOLE
- WATER LINE
- WATER GATE VALVE
- HYDRANT
- GAS LINE
- GAS GATE VALVE
- ELECTRIC LINE
- GUARDRAIL
- CHAIN LINK FENCE

C-1 EXISTING CONDITIONS PLAN
SCALE: 1" = 40'-0"



APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

DATE: _____



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NO	DATE	REVISIONS	PREPARED FOR:	DRAWING:
			35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	EXISTING CONDITIONS PLAN
			PROJECT: PROPOSED BUILDING AVANTOR FLUID HANDLING 35 SARATOGA BOULEVARD DEVENS, MA	SCALE: 1" = 40'-0" DATE: APRIL 6, 2022 DRAWING NUMBER: C.1

ZONING REQUIREMENTS		
RAIL INDUSTRIAL AND TRADE RELATED ZONING DISTRICT		
	REQUIRED	PROPOSED
MINIMUM LOT AREA	2 ACRES	9.12 ACRES±
MINIMUM LOT FRONTAGE	75 FEET	362 FEET
MINIMUM FRONT YARD	25 FEET	
MINIMUM SIDE YARD	10 FEET	
MINIMUM REAR YARD	25 FEET	
BUILDING FOOTPRINT FLOOR AREA		
MAXIMUM FLOOR AREA RATIO	6	
TOTAL IMPERVIOUS AREA	9	
MAXIMUM IMPERVIOUS SURFACE RATIO		
MAXIMUM BUILDING HEIGHT	75 FEET	48 FEET

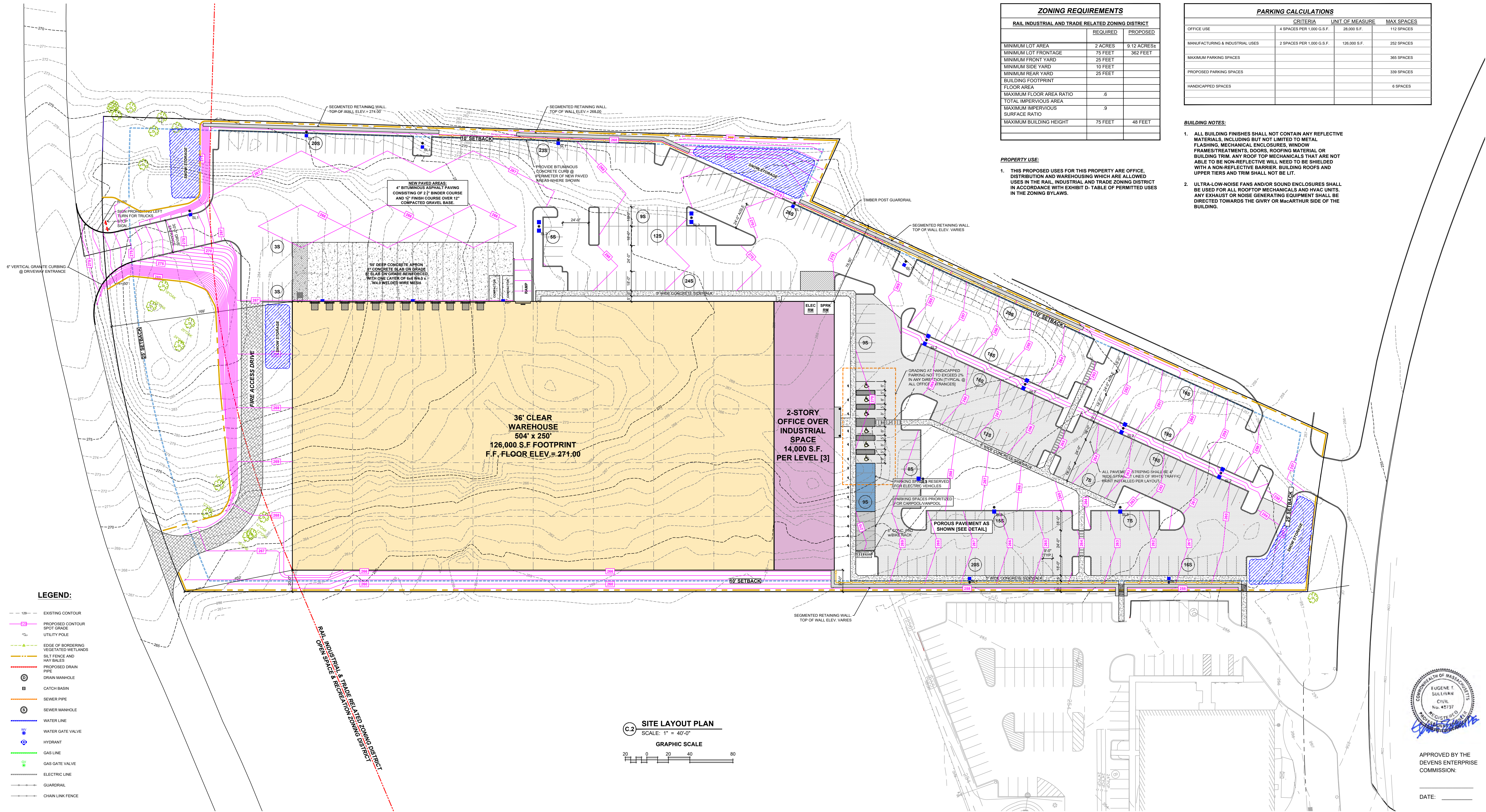
PARKING CALCULATIONS			
	CRITERIA	UNIT OF MEASURE	MAX SPACES
OFFICE USE	4 SPACES PER 1,000 G.S.F.	28,000 S.F.	112 SPACES
MANUFACTURING & INDUSTRIAL USES	2 SPACES PER 1,000 G.S.F.	126,000 S.F.	252 SPACES
MAXIMUM PARKING SPACES			366 SPACES
PROPOSED PARKING SPACES			339 SPACES
HANDICAPPED SPACES			6 SPACES

BUILDING NOTES:

- ALL BUILDING FINISHES SHALL NOT CONTAIN ANY REFLECTIVE MATERIALS, INCLUDING BUT NOT LIMITED TO METAL FLASHING, MECHANICAL ENCLOSURES, WINDOW FRAMES/TREATMENTS, DOORS, ROOFING MATERIAL OR BUILDING TRIM. ANY ROOF TOP MECHANICALS THAT ARE NOT ABLE TO BE NON-REFLECTIVE WILL NEED TO BE SHIELDED WITH A NON-REFLECTIVE BARRIER. BUILDING ROOFS AND UPPER TIERS AND TRIM SHALL NOT BE LIT.
- ULTRA-LOW-NOISE FANS AND/OR SOUND ENCLOSURES SHALL BE USED FOR ALL ROOFTOP MECHANICALS AND HVAC UNITS. ANY EXHAUST OR NOISE GENERATING EQUIPMENT SHALL BE DIRECTED TOWARDS THE GIVRY OR MACARTHUR SIDE OF THE BUILDING.

PROPERTY USE:

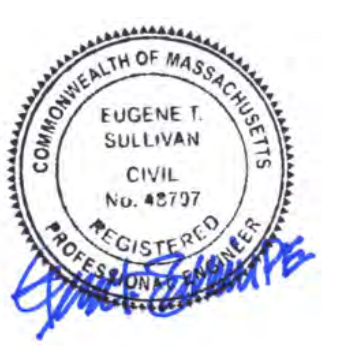
- THIS PROPOSED USES FOR THIS PROPERTY ARE OFFICE, DISTRIBUTION AND WAREHOUSING WHICH ARE ALLOWED USES IN THE RAIL, INDUSTRIAL AND TRADE ZONING DISTRICT IN ACCORDANCE WITH EXHIBIT D - TABLE OF PERMITTED USES IN THE ZONING BYLAWS.



LEGEND:

- 129 --- EXISTING CONTOUR
- 129 --- PROPOSED CONTOUR
- 129 --- SPOT GRADE
- 129 --- UTILITY POLE
- 129 --- EDGE OF BORDERING VEGETATED WETLANDS
- 129 --- SILT FENCE AND HAY BALES
- 129 --- PROPOSED DRAIN PIPE
- 129 --- DRAIN MANHOLE
- 129 --- CATCH BASIN
- 129 --- SEWER PIPE
- 129 --- SEWER MANHOLE
- 129 --- WATER LINE
- 129 --- WATER GATE VALVE
- 129 --- HYDRANT
- 129 --- GAS LINE
- 129 --- GAS GATE VALVE
- 129 --- ELECTRIC LINE
- 129 --- GUARDRAIL
- 129 --- CHAIN LINK FENCE

C-2 SITE LAYOUT PLAN
SCALE: 1" = 40'-0"
GRAPHIC SCALE

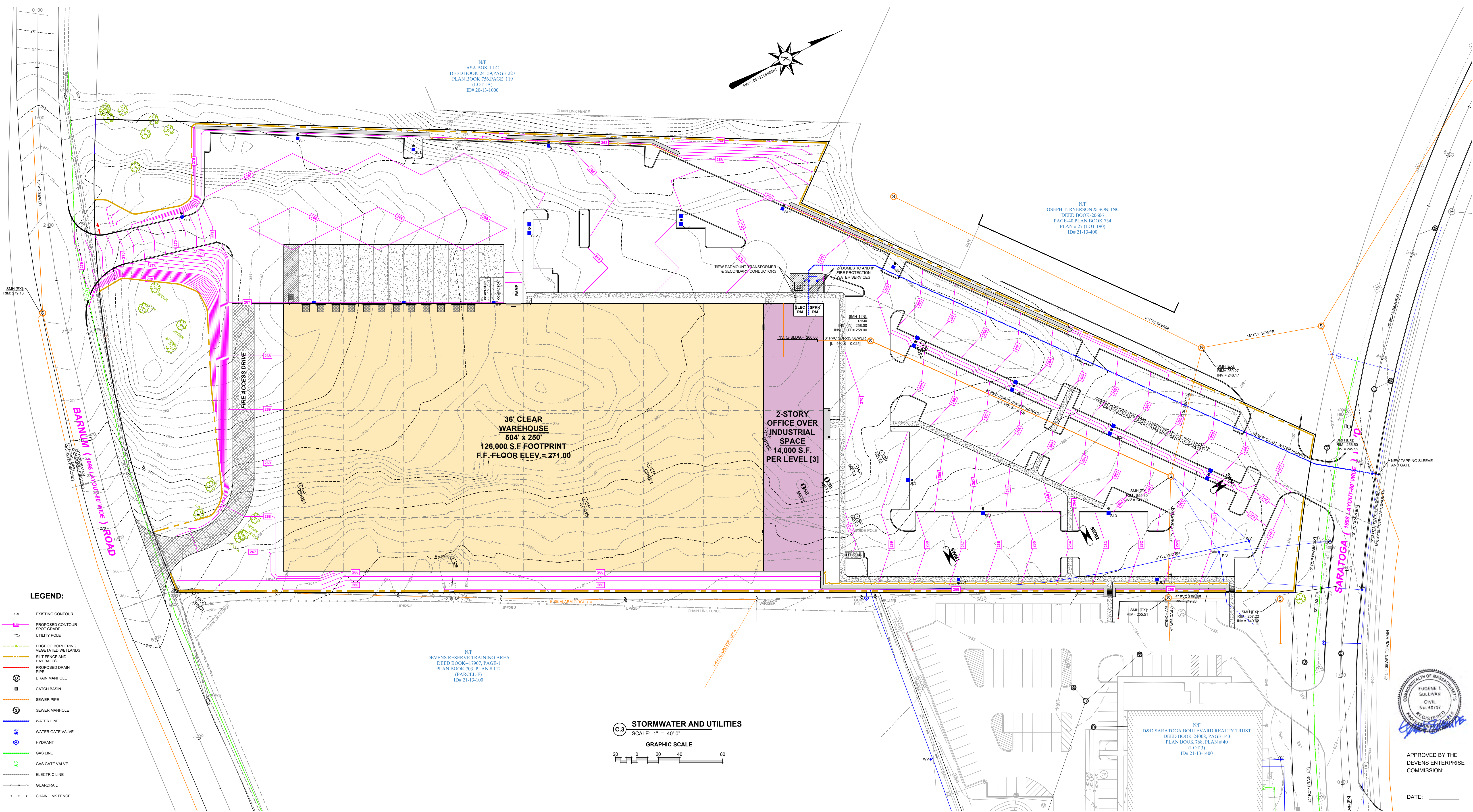


APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

DATE: _____

<p>Eugene T. Sullivan, Inc. Consulting Engineers 230 Lowell Street - Suite 2A Wilmington, MA 01887 Phone: 978.657.6469 Fax: 978.657.8563 Email: etspe@outlook.com</p>	NO. DATE REVISIONS	PREPARED FOR: 35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	PROJECT: PROPOSED BUILDING AVANTOR FLUID HANDLING 35 SARATOGA BOULEVARD DEVENS, MA
	<p>DATE: _____</p> <p>REVISIONS:</p>	<p>DATE: APRIL 6, 2022</p> <p>SCALE: 1" = 40'-0"</p> <p>DATE: APRIL 6, 2022</p> <p>DRAWING NUMBER</p>	<p>DATE: _____</p> <p>REVISIONS:</p>

C.2



N/F
ASA BOS, LLC
DEED BOOK 24159, PAGE 227
PLAN BOOK 756, PAGE 119
(LOT 1A)
ID# 20-13-1000

N/F
JOSEPH T. RYERSON & SON, INC.
DEED BOOK 20606
PAGE 40, PLAN BOOK 734
PLAN # 27 (LOT 190)
ID# 21-13-400

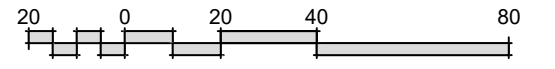
N/F
DEVENS RESERVE TRAINING AREA
DEED BOOK 17907, PAGE 1
PLAN BOOK 703, PLAN # 112
(PARCEL F)
ID# 21-13-100

N/F
D&D SARATOGA BOULEVARD REALTY TRUST
DEED BOOK 24068, PAGE 143
PLAN BOOK 768, PLAN # 40
(LOT 3)
ID# 21-13-1400

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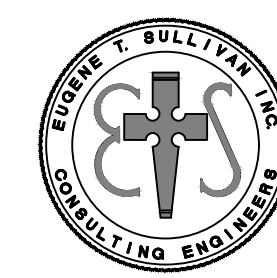
- 120 --- EXISTING CONTOUR
- 120 --- PROPOSED CONTOUR
- 120 --- SPOT GRADE
- 120 --- UTILITY POLE
- 120 --- EDGE OF BORDERING VEGETATED WETLANDS
- 120 --- SILT FENCE AND HAY BALES
- 120 --- PROPOSED DRAIN PIPE
- 120 --- DRAIN MANHOLE
- 120 --- CATCH BASIN
- 120 --- SEWER PIPE
- 120 --- SEWER MANHOLE
- 120 --- WATER LINE
- 120 --- WATER GATE VALVE
- 120 --- HYDRANT
- 120 --- GAS LINE
- 120 --- GAS GATE VALVE
- 120 --- ELECTRIC LINE
- 120 --- GUARDRAIL
- 120 --- CHAIN LINK FENCE

C-3 STORMWATER AND UTILITIES
SCALE: 1" = 40'-0"
GRAPHIC SCALE



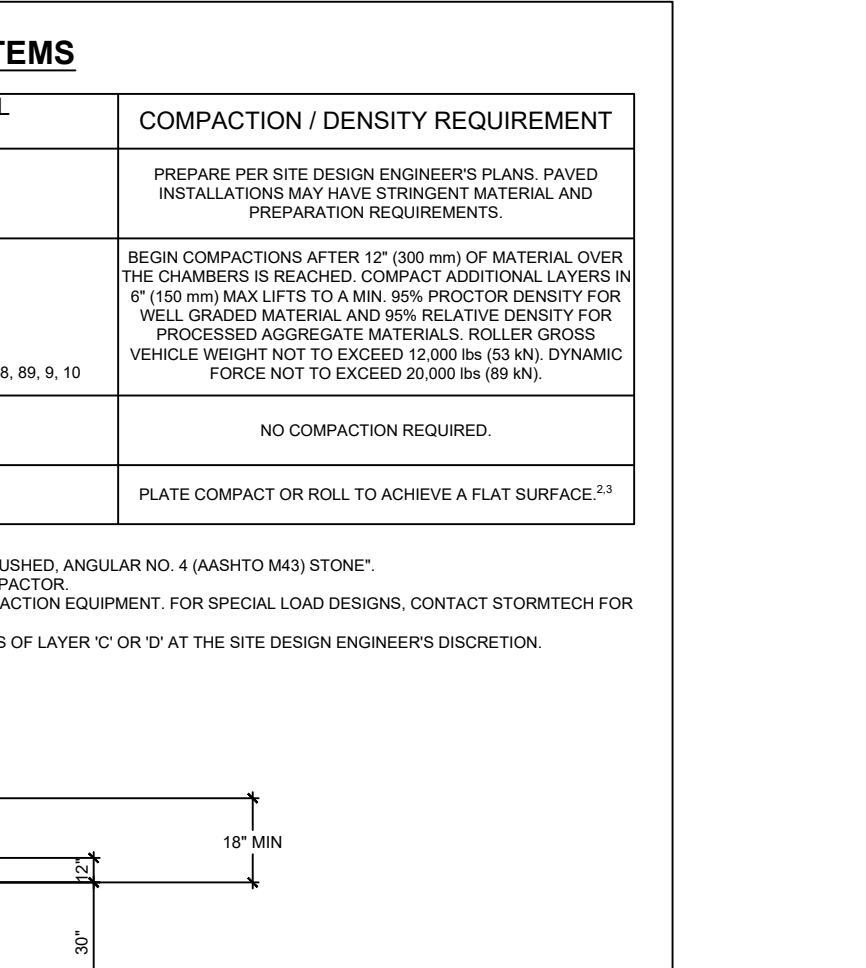
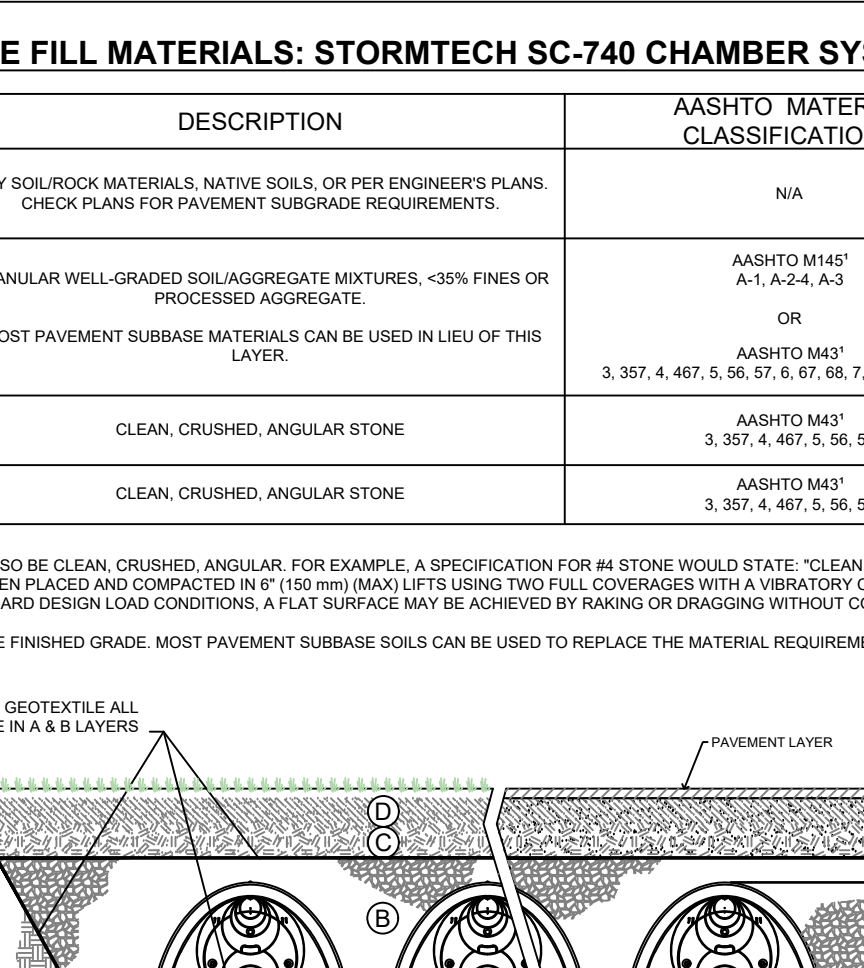
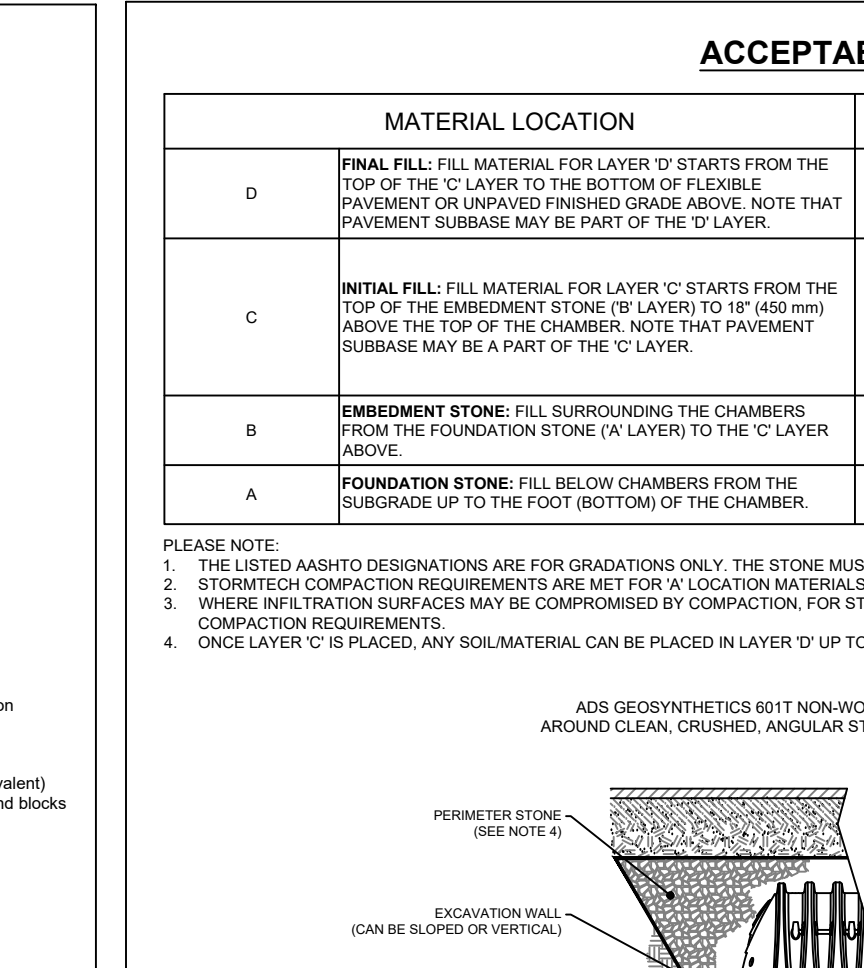
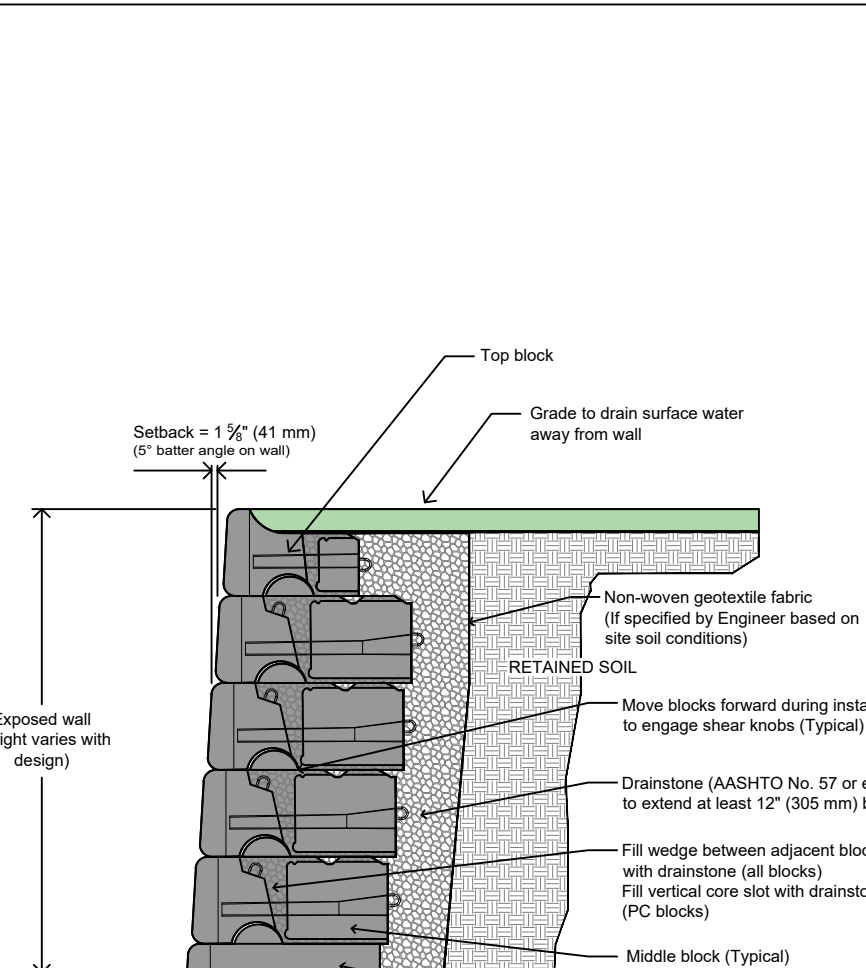
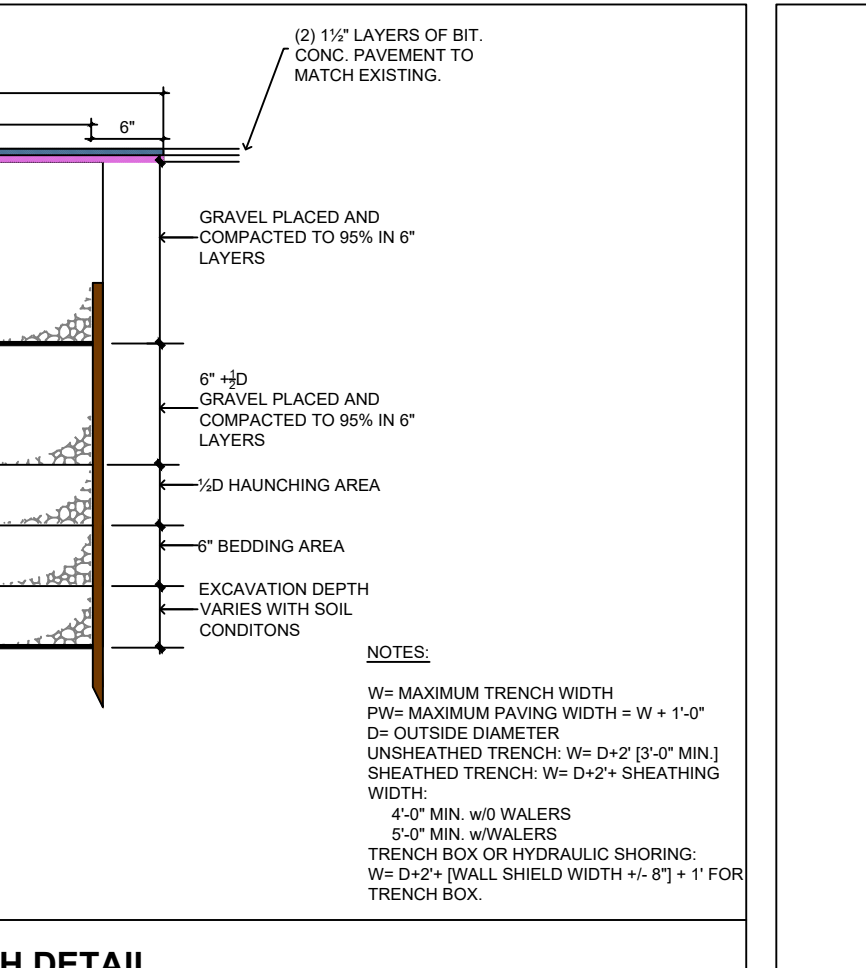
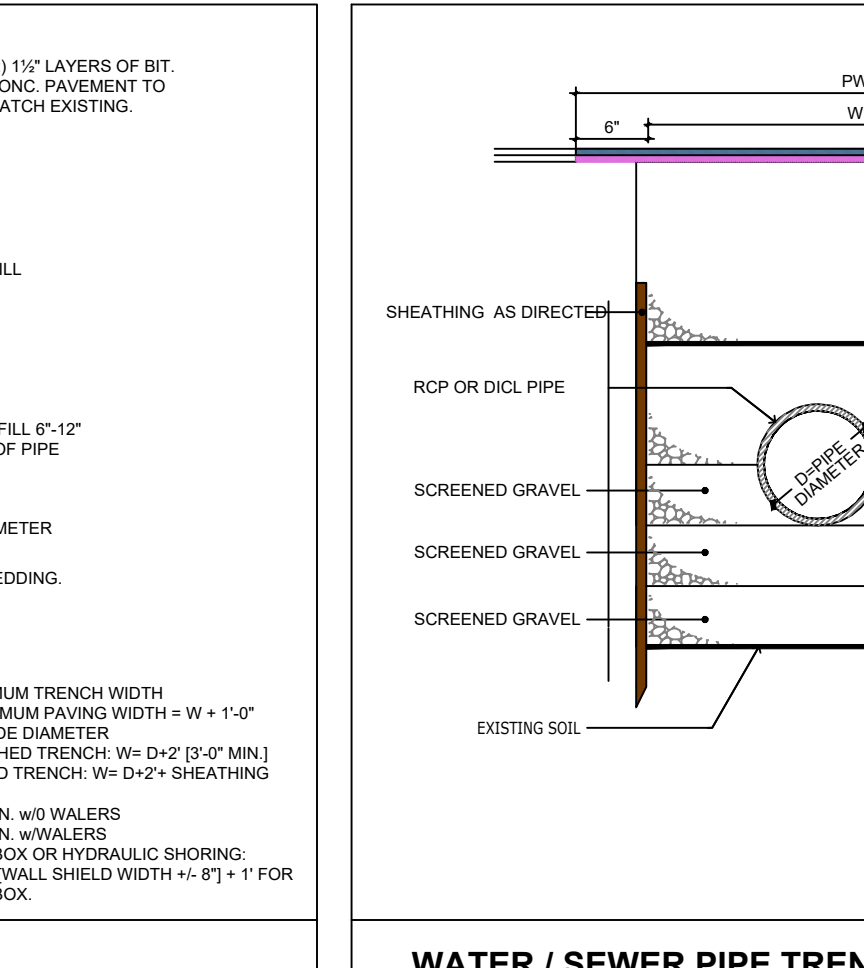
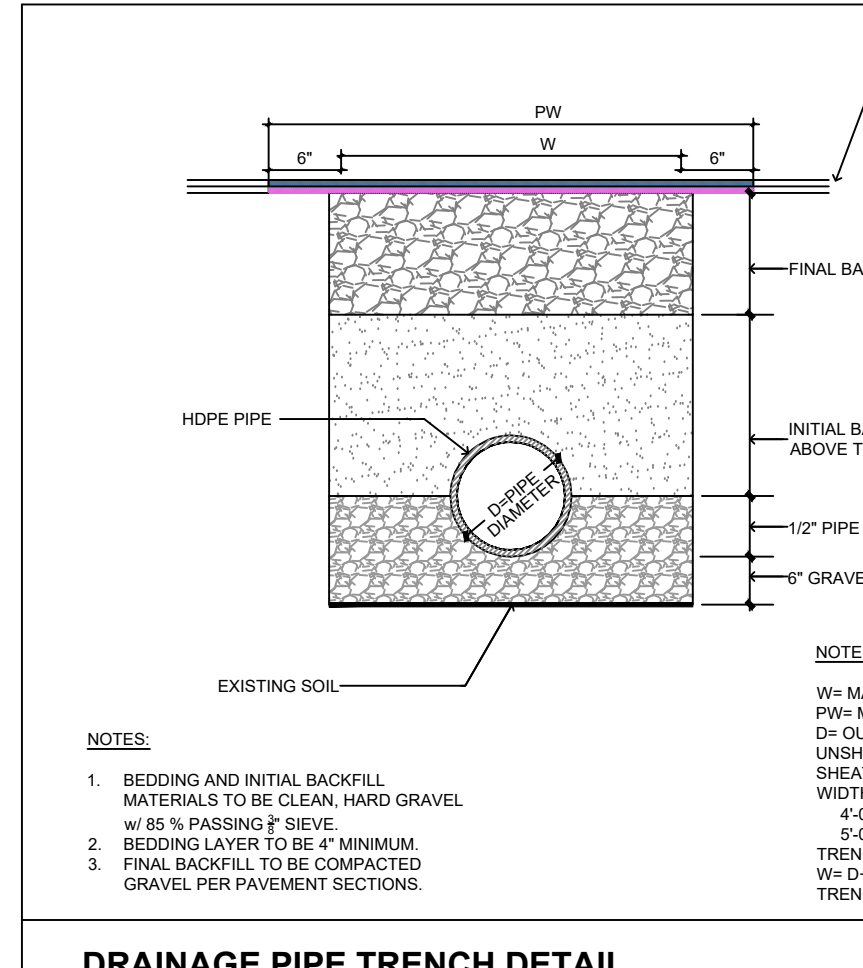
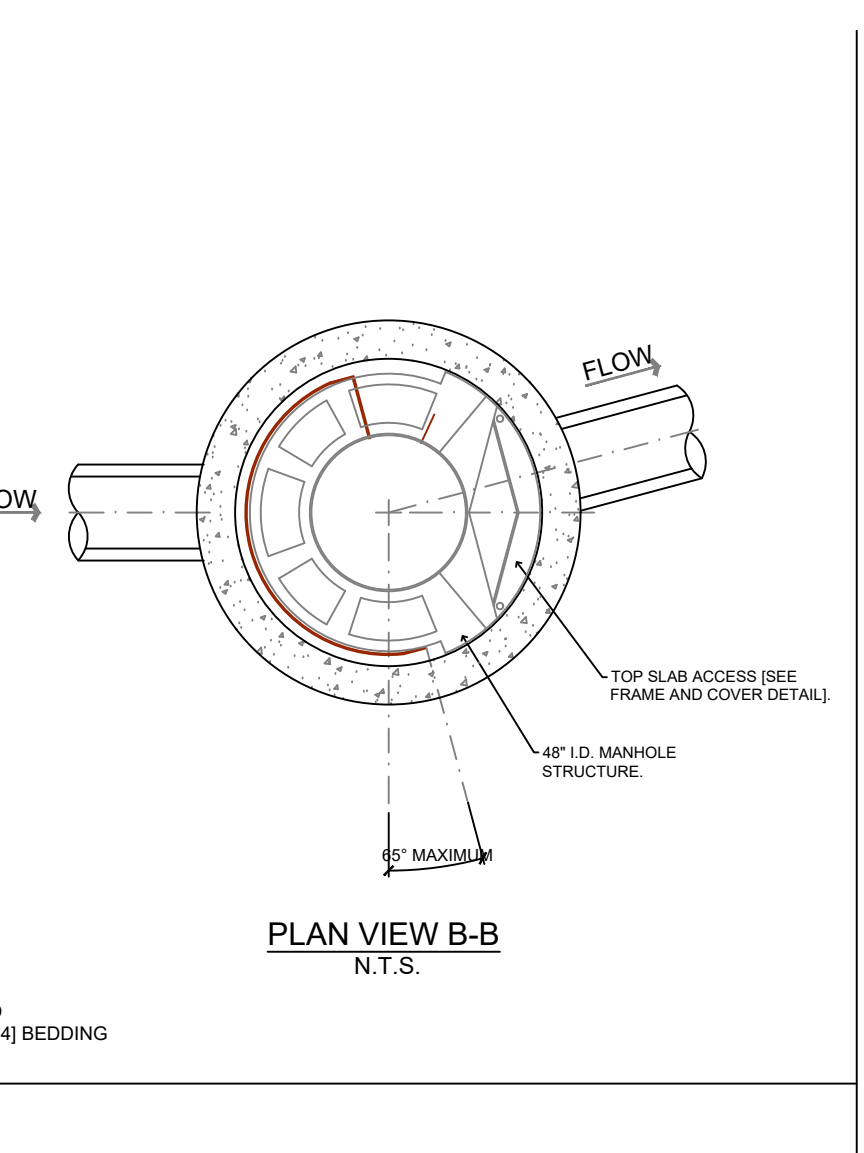
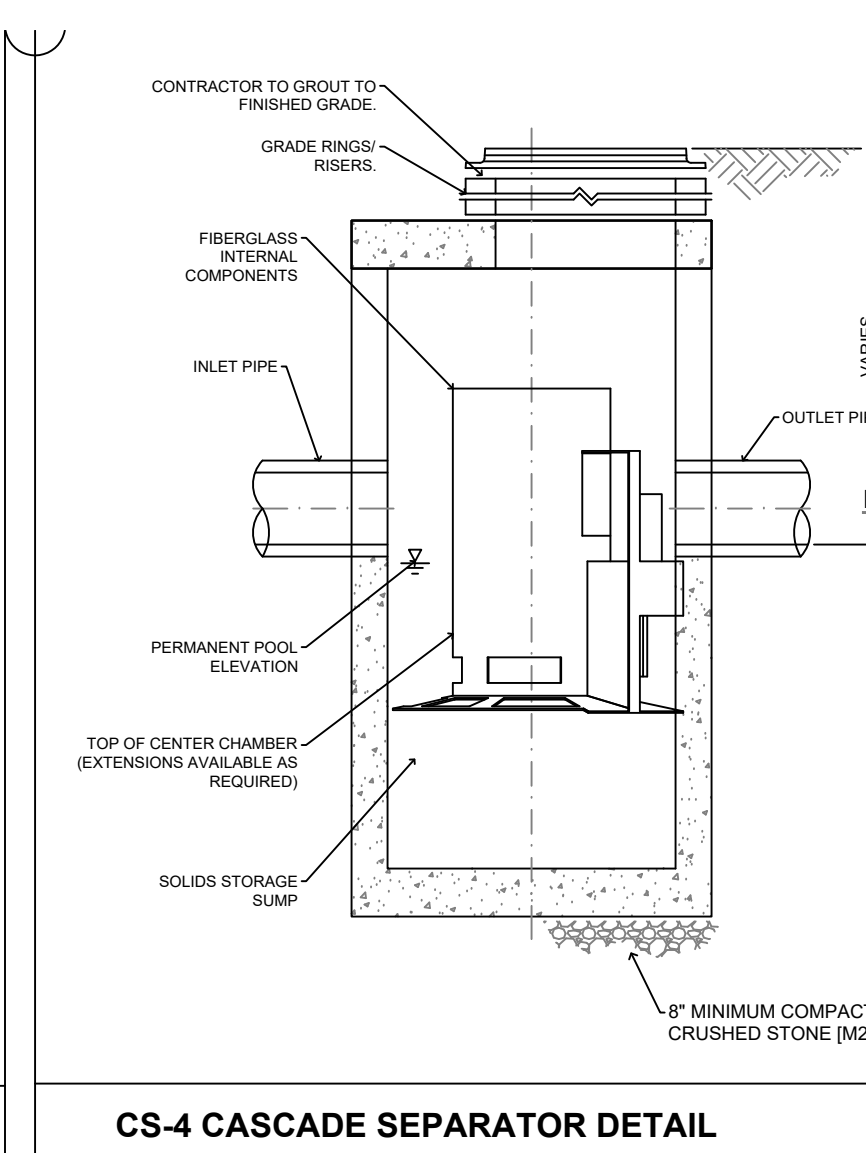
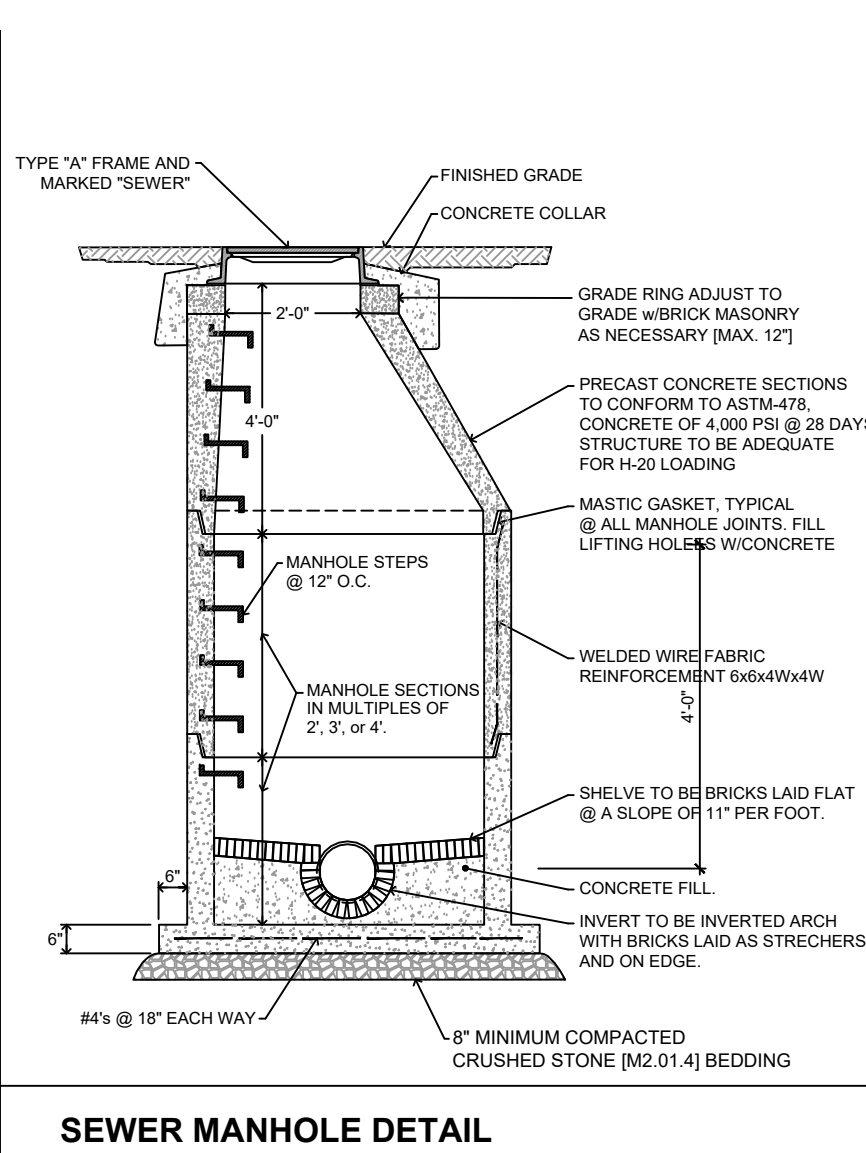
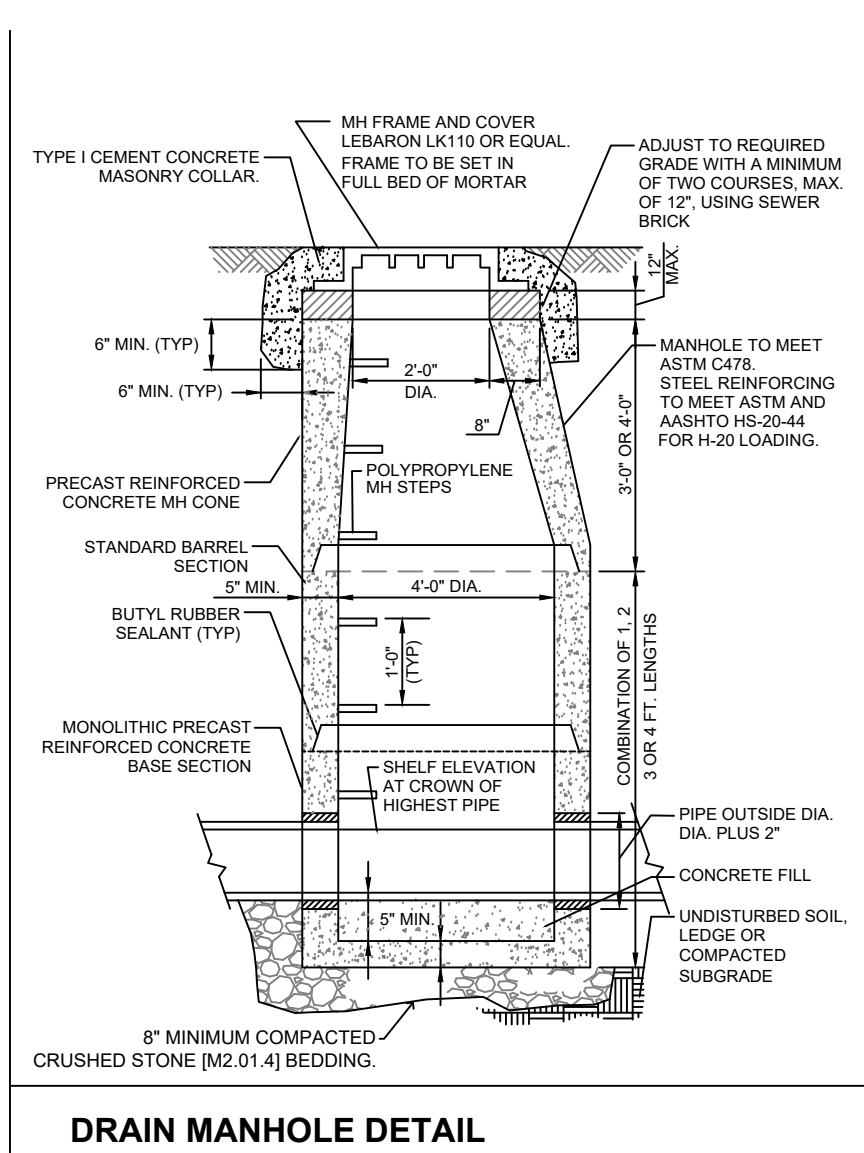
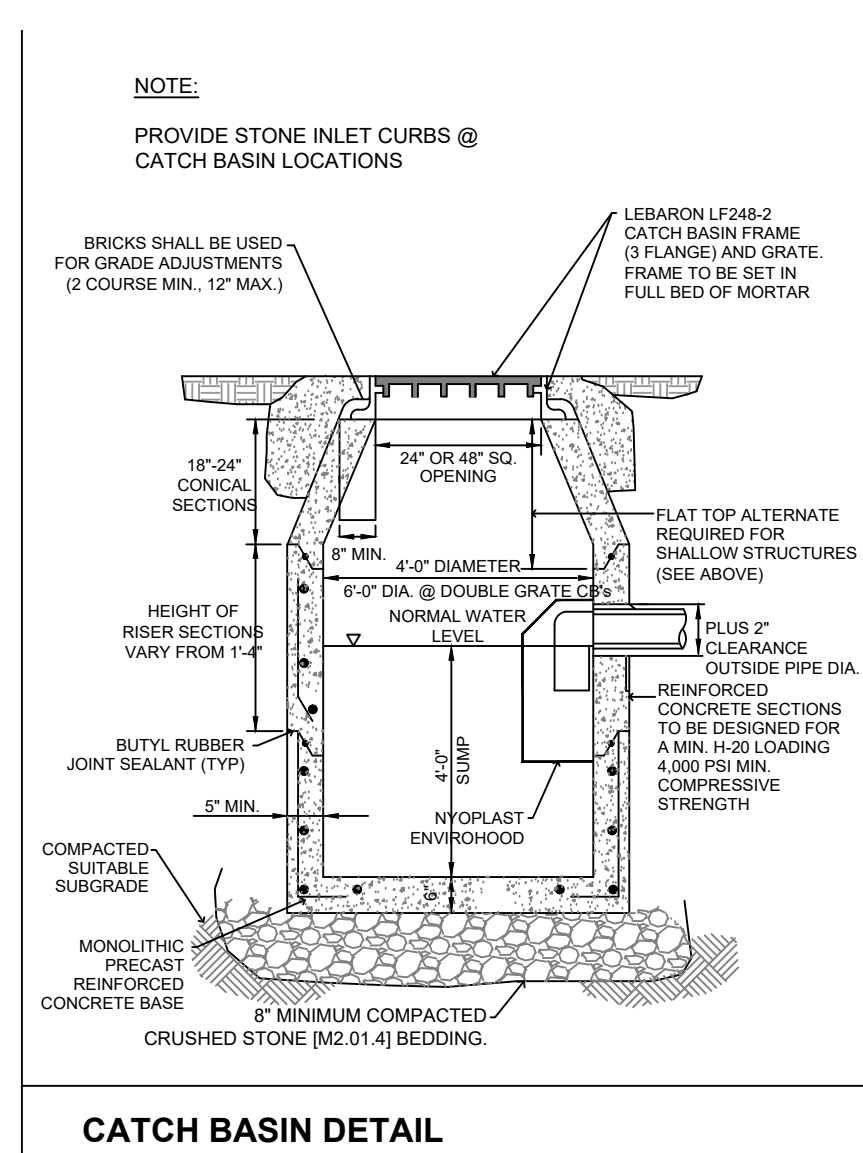
APPROVED BY THE
DEVENS ENTERPRISE
COMMISSION:

DATE: _____



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Phone: 978.657.6469
Fax: 978.657.8563
Email: etspe@outlook.com

NO	DATE	REVISIONS	PREPARED FOR:	DRAWING:
			35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	STORMWATER AND UTILITIES PLAN
			PROJECT: PROPOSED BUILDING AVANTOR FLUID HANDLING 35 SARATOGA BOULEVARD DEVENS, MA	SCALE: 1" = 40'-0" DATE: APRIL 6, 2022 DRAWING NUMBER C.3



MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEERS PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBANKMENT STONE (B LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 4, 47, 48, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL, AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (5,443 kg). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBANKMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACTION OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEERS DISCRETION.

GENERAL CONSTRUCTION NOTES:

- MANHOLE TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE. COVER TO HAVE A CENTER HOLE.
- A TIGHT COVER MUST BE USED IF MANHOLE IS LOCATED INSIDE OF BUILDING.
- OPENING SHALL BE NOT LESS THAN 24" DIAMETER.
- THE MANHOLE SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.
- INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.
- WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.
- THE MANHOLE MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
- ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE MANHOLE, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH OTHER MEANS.
- WROUGHT IRON STEPS SHALL BE SPACED AT 18" O.C.
- BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY LOCAL AUTHORITIES.

CONCRETE PAD NOTES:

- CONCRETE TO BE 4,000 P.S.I.
- SEE C-2 FOR PAD DIMENSIONS.
- PROVIDE CONSTRUCTION JOINTS AT INTERVALS OF 3' LENGTH AND WIDTH DIMENSIONS.
- PROVIDE 2" CHAMFER @ PAD PERIMETER.

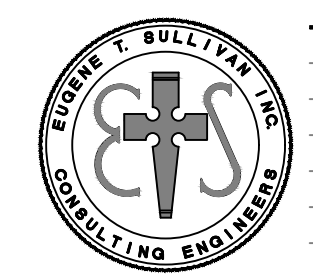
WATER SERVICE NOTES:

- ALL CONSTRUCTION AND TESTING METHODS SHALL COMPLY WITH THE TOWN OF WILMINGTON RULES AND REGULATIONS. IN CASES WHERE THESE PLANS DIFFER FROM THESE REGULATIONS, THE MOST RESTRICTIVE REQUIREMENTS SHALL APPLY.
- ALL MATERIALS TO BE USED SHALL BE APPROVED BEFORE INSTALLATION BY THE DEPARTMENT OF PUBLIC WORKS / WATER DEPARTMENT AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. PIPE SHALL BE DUCTILE IRON MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF ANSHAWWA C151A21 S1 AND SHALL BE SPECIAL THICKNESS CLASS S2 WITH A MINIMUM WALL THICKNESS OF 0.33 INCHES FOR 8 INCH PIPE. JOINTS SHALL BE PUSH ON OR MECHANICAL. PUSH JOINTS SHALL BE IN ACCORDANCE WITH ANSHAWWA C111A21.1. PIPE SHALL HAVE CEMENT MORTAR LINING AND SEAL COATING IN ACCORDANCE WITH ANSHAWWA C10A21.4-2B.
- THE CONTRACTOR SHALL PROVIDE CAD AS-BUILTS OF ALL MAINS AND SERVICE LATERALS, INCLUDING DEPTHS AND TIES TO PERMANENT STRUCTURES.



APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

DATE: _____



NO.	DATE	REVISIONS

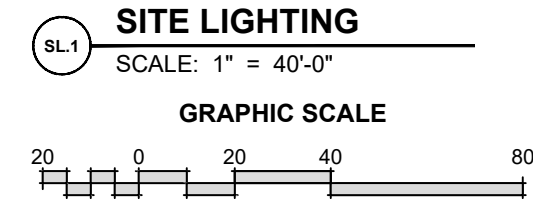
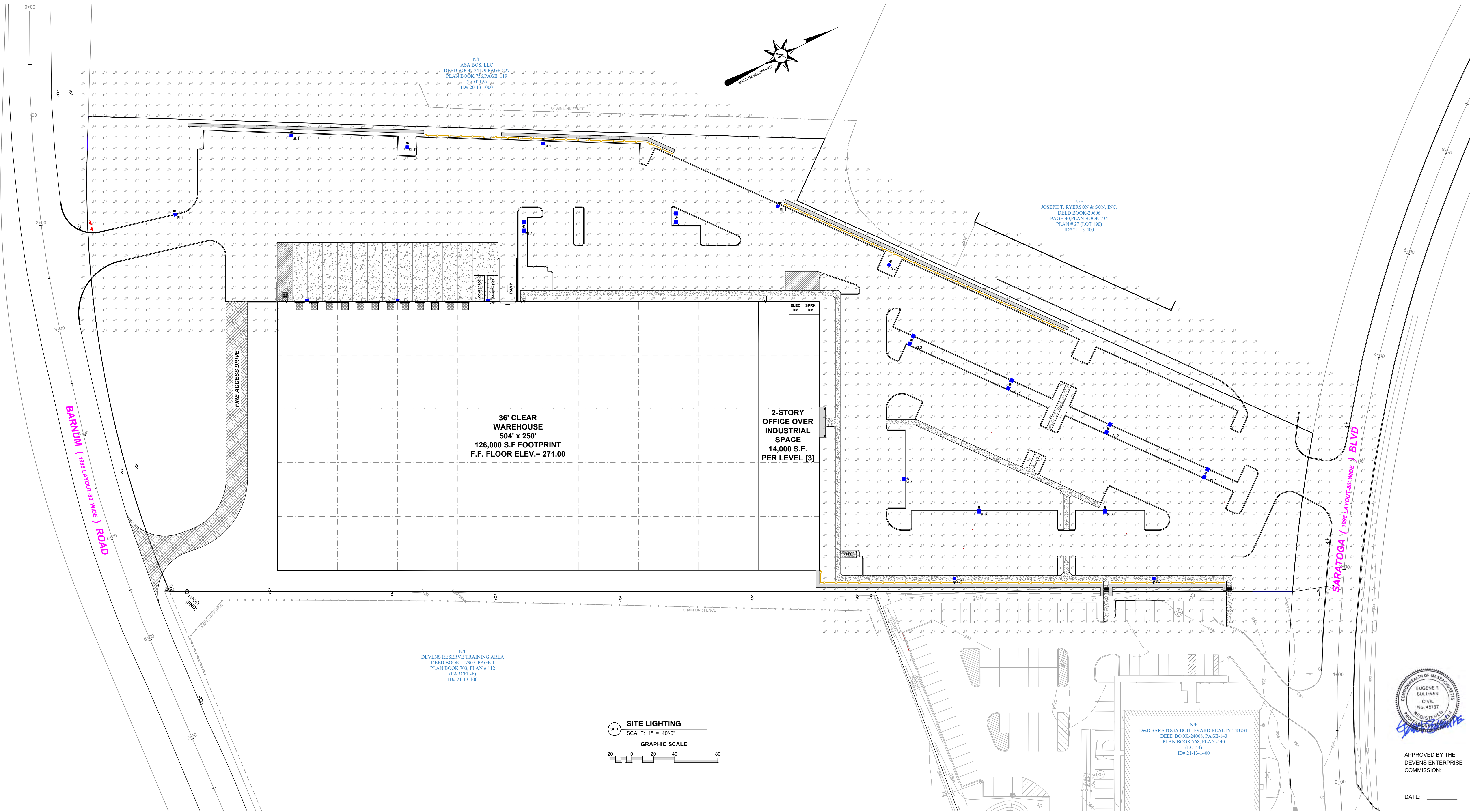
PREPARED FOR:
35 SARATOGA PROPERTY OWNER, LLC
135 PEARL STREET
BOSTON, MA

PROJECT:
PROPOSED BUILDING AVANTOR FLUID HANDLING
35 SARATOGA BOULEVARD
DEVENS, MA

DRAWING:
SITE DETAILS PLAN

SCALE: AS NOTED
DATE: APRIL 6, 2022
DRAWING NUMBER

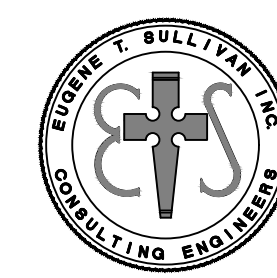
C.4.2



APPROVED BY THE
DEVENS ENTERPRISE
COMMISSION:

DATE: _____

LUMINAIRE SCHEDULE						
Qty	Label	Manufacturer	Catalog Number	Description	LLF	Input Watts
8	SL1	Lithonia Lighting	DSX1 LED P6 30K BLC MVOLT MOUNTING CONTROL XX FINISH Single Head Pole Mounted @ 25' AFG	SINGLE HEAD POLE USING DSX- BLC OPTIC 25' MOUNTING	0.9	163
6	SL2	Lithonia Lighting	DSX1 LED P6 30K T3M MVOLT MOUNTING CONTROL XX FINISH Twin Head Pole @ 180 Degrees Mounted @ 25' AFG	TWIN HEAD POLE USING DSX- T3M OPTIC 25' MOUNTING	0.9	326
3	SL3	Lithonia Lighting	DSX1 LED P6 30K T3M MVOLT MOUNTING CONTROL XX FINISH Single Head Pole Mounted @ 25' AFG	SINGLE HEAD POLE USING DSX- T3M OPTIC 25' MOUNTING	0.9	163
3	WP	Lithonia Lighting	WDGE3 LED P3 70CRI R4 30k	WDGE3 LED WITH P3- PERFORMANCE PACKAGE, 3000K, 70 CRI, TYPE 4 OPTIC	0.9	72



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NO	DATE	REVISIONS

PREPARED FOR:
35 SARATOGA PROPERTY
OWNER, LLC
133 PEARL STREET
BOSTON, MA

PROJECT:
PROPOSED BUILDING
AVANTOR FLUID
HANDLING
35 SARATOGA
BOULEVARD
DEVENS, MA

SCALE: 1" = 40'-0"
DATE: APRIL 6, 2022
DRAWING NUMBER:
SL.1